



## **Public Facilities Committee Budget Agenda**

### **City of Newton** **In City Council**

**Wednesday, May 13, 2026**

**7:00 PM**

**Newton City Hall, Room 211**

The Public Facilities Committee will hold this meeting as a hybrid meeting at City Hall in Room 211 on Wednesday, May 13, 2026 at 7:00 PM. To view this meeting using Zoom use this link: <https://newtonma.gov.zoom.us/j/87696476972>. or call 1-646-558-8656 and use the following Meeting ID: 876 9647 6972.

You may also:

1. Watch a live broadcast of the meeting on NewTV's government channel (Comcast 9, RCN 13, 614 (HD), Verizon 33).
2. View a live stream on NewTV's YouTube channel at:  
<https://www.youtube.com/channel/UCQvNeCJkA3PftuLLvfAh3cQ>

### **Items Scheduled for Discussion:**

#### **Referred to Public Facilities & Finance Committees**

- #167-26** CPC recommendation to appropriate \$347,534.91 for War Memorial Stairs COMMUNITY PRESERVATION COMMITTEE recommending the appropriation of three hundred forty-seven thousand five hundred thirty-four dollars and ninety-one cents (\$347,534.91) in Community Preservation Act funding from Unrestricted Prior Year Reserves (Acct# 5800-3599) to the Planning & Development Department for a grant to the Public Buildings Department for the War Memorial Stairs.

#### **DEPARTMENT BUDGET & CIP DISCUSSIONS:**

##### **Public Buildings**

*Please Note: Budget materials can be found on the City's website at the following link:*

<https://www.newtonma.gov/government/comptroller/budget>

The location of this meeting is accessible, and reasonable accommodation will be provided to persons with disabilities who require assistance. If you need a reasonable accommodation, please contact the city of Newton's ADA Coordinator at least two business days in advance of the meeting: [ADACoordinator@newtonma.gov](mailto:ADACoordinator@newtonma.gov) or (617) 796-1253. The city's TTY/TDD direct line is: 617-796-1089. For the Telecommunications Relay Service (TRS), please dial 711.

**Referred to Finance and Appropriate Committees**

- #1-26      Submittal of the FY2027-FY2031 Capital Improvement Plan**  
HIS HONOR THE MAYOR submitting the FY27-FY31 Capital Improvement Plan pursuant to section 5-3 of the Newton City Charter.
- #154-26      Submittal of the FY2027-FY2031 Supplemental Capital Improvement Plan**  
HIS HONOR THE MAYOR submitting in accordance with Section 5-3 of the City of Newton Charter, the FY2027-FY2031 Supplemental Capital Improvement Plan.
- #155-26      Submittal of the FY2027 Municipal/School Operating Budget**  
HIS HONOR THE MAYOR submitting in accordance with Section 5-1 of the City of Newton Charter the FY2027 Municipal/School Operating Budget, passage of which shall be concurrent with the FY2027-FY2031 Capital Improvement Program (#1-26). EFFECTIVE DATE OF SUBMISSION 04/21/26; LAST DATE TO PASS THE BUDGET 06/05/26.

**Respectfully submitted,**  
**David Kalis, Chair of Public Facilities Committee**

CITY COUNCIL

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CITY OF NEWTON

DOCKET REQUEST FORM

**DEADLINE NOTICE: Council Rules require items to be docketed with the Clerk of the Council NO LATER THAN 7:45 P.M. ON THE MONDAY PRIOR TO A FULL COUNCIL MEETING.**

To: Clerk of the City Council

Date: April 21, 2025

From (Docketer): Mollie Hutchings, Community Preservation Program Manager

Address: Planning Department, Newton City Hall, 1000 Commonwealth Avenue Newton MA 02459

Phone: 617-796-1147 E-mail: mhutchings@newtonma.gov

Additional sponsors: Community Preservation Committee

1. Please docket the following item (it will be edited for length if necessary):

Recommendation from the Community Preservation Committee that \$347,534.91 of CPA historic resource funds be appropriated to the control of the Planning & Development Department for a grant to the Public Buildings Department for the War Memorial Stairs. The funding should come from the following source:  
Unrestricted Prior Year Reserves( #5800 3599): \$347,534.91

2. The purpose and intended outcome of this item is:

- |                                                                        |                                                   |
|------------------------------------------------------------------------|---------------------------------------------------|
| <input checked="" type="checkbox"/> Fact-finding & discussion          | <input type="checkbox"/> Ordinance change         |
| <input checked="" type="checkbox"/> Appropriation, transfer,           | <input type="checkbox"/> Resolution               |
| <input checked="" type="checkbox"/> Expenditure, or bond authorization | <input type="checkbox"/> License or renewal       |
| <input type="checkbox"/> Special permit, site plan approval,           | <input type="checkbox"/> Appointment confirmation |
| <input type="checkbox"/> Zone change (public hearing required)         | <input type="checkbox"/> Other: _____             |

3. I recommend that this item be assigned to the following committees:

- |                                                       |                                             |                                            |
|-------------------------------------------------------|---------------------------------------------|--------------------------------------------|
| <input type="checkbox"/> Programs & Services          | <input checked="" type="checkbox"/> Finance | <input type="checkbox"/> Real Property     |
| <input type="checkbox"/> Zoning & Planning            | <input type="checkbox"/> Public Safety      | <input type="checkbox"/> Special Committee |
| <input checked="" type="checkbox"/> Public Facilities | <input type="checkbox"/> Land Use           | <input type="checkbox"/> No Opinion        |

4. This item should be taken up in committee:

Immediately (Emergency only, please). Please state nature of emergency:

- As soon as possible, preferably within a month
- In due course, at discretion of Committee Chair
- When certain materials are made available, as noted in 7 & 8 on reverse
- Following public hearing

5. I estimate that consideration of this item will require approximately:

- One half hour or less
- More than one hour
- More than one meeting
- Up to one hour
- An entire meeting
- Extended deliberation by subcommittee

6. The following people should be notified and asked to attend deliberations on this item. (Please check those with whom you have already discussed the issue, especially relevant Department Heads):

City personnel

Citizens (include telephone numbers/email please)

Mollie Hutchings \_\_\_\_\_

Buzz Dunker, CPC Chair (thedunkers@gmail.com) \_\_\_\_\_

Katie Whewell \_\_\_\_\_

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7. The following background materials and/or drafts should be obtained or prepared by the Clerk's office prior to scheduling this item for discussion:

8. I  have or  intend to provide additional materials and/or undertake the following research independently prior to scheduling the item for discussion. \*

CPC Funding Recommendation War Memorial Stairs,

(\*Note to docketer: Please provide any additional materials beyond the foregoing to the Clerk's office by 2 p.m. on Friday before the upcoming Committee meeting when the item is scheduled to be discussed so that Councilors have a chance to review all relevant materials before a scheduled discussion.)

Please check the following:

- 9.  I would like to discuss this item with the Chairman before any decision is made on how and when to proceed.
- 10.  I would like the Clerk's office to contact me to confirm that this item has been docketed. My daytime phone number is:
- 11.  I would like the Clerk's office to notify me when the Chairman has scheduled the item for discussion.

Thank you.

Mollie Hutchings  
Signature of person docketing the item

[Please retain a copy for your own records]



City of Newton  
Department of Planning & Community Development

Marc C. Laredo  
Mayor

1000 Commonwealth Avenue, Newton, Massachusetts 02459  
(617) 796-1120 | [newtonma.gov/planning](http://newtonma.gov/planning)

Katie Whewell  
Acting Director

**Community Preservation Committee**  
**Funding Recommendation for the**  
**War Memorial Stairs**

**Date:** May 8, 2026  
**From:** Community Preservation Committee  
**To:** The Honorable City Council  
**CC:** The Honorable Mayor Marc C. Laredo

**PROJECT GOALS & ELIGIBILITY**

The stairs at the War Memorial Entrance to the Newton City Hall and War Memorial have deteriorated due to water infiltration. The concrete landing and plaza in front of the War Memorial stairs have sunk and caused unsafe height at the first steps. Water infiltration is occurring into the building near the recently installed elevator through the deteriorated mortar joints and granite steps. This goal of the overall project proposes complete structural restoration, waterproofing, rehabilitation, and improvement to the deteriorated exterior element of the granite stairs and wall, with new handrails will be installed to meet the recent building code.

This recommendation is to fund the second phase of this project with CPA Historic Resource funds, allowing for construction. \$189,300 was previously awarded for design, engineering and investigation.

**RECOMMENDED FUNDING**

Account	Account No.	Amount
Unrestricted Prior Year Funds	5800-3599	347,534.91

**SPECIAL ISSUES CONSIDERED BY THE CPC****Historic Significance and Community Needs:**

The Newton City Hall and War Memorial is a monumental building in the Georgian Revival style designed by the firm of Allen and Collens. The building is set within a park designed by the Olmsted Brothers landscape architects, serving both as a center of municipal government, as well as a memorial to Newton veterans who had served the armed forces between the American Revolution and World War I. Constructed in 1931, the building is substantial both historically and architecturally and still functions as originally intended. The building is listed individually on the National Register of Historic Places, and is eligible for CPA Historic Resource funding.

**Project budget:**

CPC is funding 93% of the project at this phase. The Committee has previously stated their hesitance to fund such a large percentage of this project. While Public Buildings initially estimated a construction cost of approximately 2 million dollars, the investigative work funded in the last phase of the project significantly reduced the scope and final bid. As a result of the request dropping so low compared to the initial estimate, the Committee voted to approve a higher percentage of funding.

**ADDITIONAL RECOMMENDATIONS** *(funding conditions)*

1. The CPC will hold 10% of the project's CPA funding until all architectural and engineering work is complete, at which time a final report and updated project budget must be submitted to the CPC for approval. Public Buildings will be expected to present these materials at a public meeting of the CPC for their review and approval before the final funds are released.
2. Public Buildings should also be prepared to update the CPC at regular intervals as requested on the status of the project and to submit copies of any completed reports and studies when available.
3. Any CPA funds appropriated but not used for the purposes stated herein should be returned to the Newton Community Preservation Fund.

**ATTACHMENTS**

Additional information not attached to this recommendation, including proposal, petitions and letters of support, are available on the CPC's website at:

<https://www.newtonma.gov/government/planning/divisions/community-preservation-program/cpc-projects> Under "City Hall Projects"

**Chair's note:** The following documents were submitted for the Public Facilities Committee's discussion of the Public Buildings Department budget.

# Comprehensive Capital Project Update

## May 2026 Edition

**Alex Valcarce – Public Buildings Commissioner**

You can also follow us on social media at

<https://www.facebook.com/profile.php?id=100070249892653>,  
<https://www.instagram.com/newtonmapbd/>, or <https://twitter.com/NewtonMAPBD>.

We continue to make huge strides on school and municipal projects throughout Newton. Although we recently completed two major projects, Lincoln-Eliot School and Cooper Center we have plenty of exciting updates to share on the following projects:

1. Countryside School Project
2. Horace Mann School Project
3. Franklin School Project

## Lincoln-Eliot Project



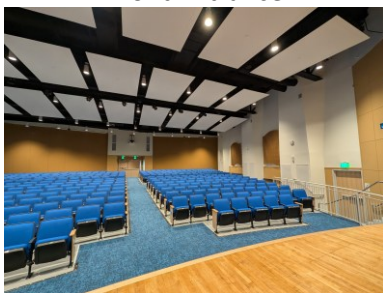
Front Entrance



Library



Gymnasium



Auditorium Community Stage



Cafeteria



Classroom

The Lincoln Eliot Elementary School opened its doors in September of 2025 for the 2025/2026 school year. The renovation of the 150 Jackson Road property was made possible using \$51.9 million of taxpayer dollars. The new Lincoln-Eliot is fully accessible with 18 general education classrooms, 4 special education classrooms, along with breakout spaces, a new gymnasium and state-of-the-art library, modernized cafeteria and kitchen, and a terrific auditorium for use by the school and Newton Community Stage. Fully accessible playgrounds and fields replaced the existing asphalt parking lot. The project is in the close out phase and as the school and community settle in this year, we will continue to provide adjustments and refinements.

# Cooper Center Project



The Cooper Center opened its doors on December 5, 2025 and has quickly become the place to be. The design of this beautiful facility has met the City of Newton’s goal, as an age friendly community to provide an appropriately sized, well-equipped, comfortable Center to meet the unique interests and needs of older adults. When spaces within this \$30.5 million facility are not programmed for older adults, it offers well managed, quality, and enriching community and multigenerational experiences for all residents of Newton, the Cooper Center for Active Living is a state-of-the-art facility which will serve Newton for generations to come.



Gymnasium



Multipurpose Room



Library



Deck

# Countryside School Project



For the latest virtual tour click [here](#). Courtesy of Victor Imparato, NPBD

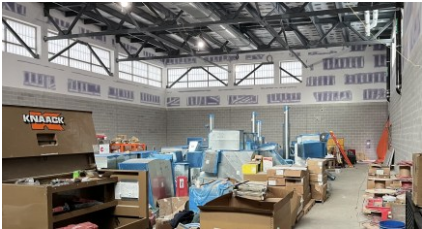
Construction of the Countryside Elementary School continues to make great progress. Installation of the of the geothermal system is close to completion. Exterior masonry work and windows are near completion. Interior framing, mechanical systems installation, drywall, and painting are all in progress.



Geothermal Vault



Mockup Classroom & Admin.  
Lobby



Gymnasium & Library

The team appreciates the patience and support from our neighbors, and we will continue to monitor the situation and adjust as needed to reduce the impact on our neighbors. We deeply appreciate Countryside Principal Herlihy and her incredible staff for being flexible and accommodating throughout construction, and as we prepare to install the new playground this summer for the 2026/2027 school year.



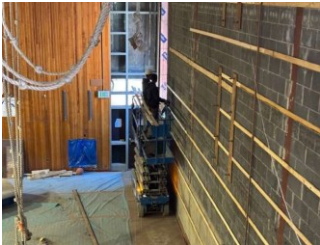
The Countryside School Project is on track to move the students into the new school in the winter of 2027, demolish the existing school and create new play fields completing the project in the summer of 2027.

# Horace Mann Project



For the latest virtual tour click [here](#) Courtesy of Josh Morse, Chief Operating Officer

The Addition/Renovation of the Horace-Mann School continues to make progress. Site work is coming together quickly with construction of exterior gathering plaza and basketball court. Preparations are being made for construction of the playground. The progress on the addition includes windows and masonry which are almost complete. Drywall, wall tile, painting and interior casework are well under way,



Prep for Gym Wall finishes for New Windows



Classroom Casework



Drywall Finishing Cafetorium Stage



Installing Library Millwork

The new breakout areas are substantially complete, the support spaces throughout the building have been created, and installation of millwork is under way in the library. We greatly appreciate the support and patience of our neighbors, and the Horace Mann Community during the construction of the project. We remain on schedule and on budget. In the summer of 2026, we will move Horace Mann back to 225 Nevada Street in time for the start of the 2026/2027 school year.

# Franklin School Project



For the latest virtual tour see [here](#) Courtesy of Josh Morse, Chief Operating Officer

The Franklin Elementary School project is moving right along. The geothermal system distribution system has been completed and installation of storm water infiltration systems has started, as well as exterior building insulation, masonry and windows.



Main Entry Lobby



Cafetorium



Gymnasium



Main Stair



Library



Upper Floor Classroom

Interior framing, mechanical systems installation, and drywall are all in progress. The team appreciates the patience from our neighbors, we will continue to monitor the situation, step up communications and try to reduce the impact on our them. We deeply appreciate Franklin Principal Chitty and his incredible staff for being flexible and accommodating throughout the construction. The Franklin project remains on time and on budget and is on track to move the students into the new school in the winter of 2027, demolish the existing school and create new play fields completing the project in the summer of 2027.

Energy	Maintenance	Construction	Design	Process
<p>Complex energy management systems are not needed, and have little value on public safety buildings that operate 24/7</p>	<p>Lighting ballasts can not be integral to the fixture.</p>	<p>Trade inspections need to be thorough, often, and scheduled at appropriate times. As part of the final inspection protocols the architect should be required to provide information needed to obtain utility rebates as specified in the utility minimum requirements document (MRD)..</p>	<p>Integrated design meetings are essential for a successful project. These should include all sub consultants. It would be helpful to include the utilities in this process for the purposes of streamlining the rebate process and taking advantage of their resources. We should also be including EV charging stations and solar readiness in all designs. We may also want to add a sustainability consultant to the design team. The sustainability consultant would have lead responsibility for including passive house design principals and electrification in the design process and also obtaining Alternative Energy Credits for heat pump equipment.</p>	<p>Never spend money you don't have. In order to ensure this does not happen, replenish the Mayor's contingency as frequently as possible.</p>
<p>Extreme care must be given to the sizing of MEP equipment. This equipment is typically oversized well above what is actually needed.</p>	<p>Walk-out roof access should be provided when possible. If this is not possible, ships ladders are next best, last option is fixed ladders. If you do not provide access to a roof, it, and the equipment on it, will not be maintained.</p>	<p>P-traps have to be verified to have been installed prior to installation of pan-type drains. Trap primers should be specified as much as possible.</p>	<p>Project expectations need to be clearly set, stated, and documented before design begins.</p>	<p>Working groups should involve elected officials when appropriate. This helps keep the CC updated and makes the process smoother.</p>

Energy	Maintenance	Construction	Design	Process
When MEP equipment sizing is reduced, ensure that all other impacted areas are adjusted as well. Structural for example. As we build all electric buildings we should be thinking about emergency generator requirements and sizing.	Avoid gutters and downspouts whenever possible. Interior roof drains are best. Gutters and downspouts get clogged, freeze up, and create water and ice issues wherever they drain to. Can not stress this point enough. Great care and detail need to go into how water comes off of roofs. It would be good practice to visually inspect roofs of existing buildings twice per year to make sure drains are clear and there is no ponding of water.	The site should be secured as soon as the contractor takes control of the property. There should be no delay in this. Site specific safety and logistics plan should be setup and approved and adhered to,	Establish an energy performance target before a designer is brought on board, and then make sure they know what it is, and how we want to achieve it.	For larger projects, and projects that have significant impacts on the community, establish routine community meetings to receive feedback and to provide updates. Make yourself present when working in a neighborhood as you develop a comfort level for Neighbors.
Perimeter radiation is rarely needed with the efficient envelope and window systems we specify.	Avoid low small roofs. These typically do not have easy access which means that they don't get quality maintenance.	The CMP needs to be reviewed with Police, Fire, and Traffic during draft stage.	Utilize the integrated design meetings to meet the energy target.	In cases where night work, or work that severely impacts the neighborhood, over communicate and use every means of communication possible.
Glazing systems are inherently less efficient and therefore no glazing should be specified that is not requested or needed.	Be very careful with trees next to buildings. Roots damage the foundation, the trees can provide climbing access to the roof if tall enough, and trees with leaves that grow above the roof can clog roof drains.	Temperature controls prior to, during, and after concrete pours is crucial. When the building is wrapped, access points should only be open when absolutely needed, and should be closed asap.	Understand that every design change has a ripple effect. These can either drive costs up, or down in other areas. For example, if the rooftop equipment is reduced in size, the structural steel should reflect this change.	For projects requiring site plan approval, there should be at least one meeting with both Public Facilities and the Design Review Committee prior to trying to get site plan approval. This allows for questions, comments, and concerns that can then be responded to prior to trying to get approval.

Energy	Maintenance	Construction	Design	Process
Do not overthink control systems. There is a fine line between smart energy management, and inoperable systems. .I'm not sure there is much value to adding centralized lighting control systems to any building other than for outdoor lighting. I think occupancy sensors for interior spaces serve the same purpose. Occupancy sensors should be set up as vacancy sensors (this mode requires lights to be turned on manually) in classrooms, offices, conference rooms and gathering spaces like auditoriums and cafeterias.	Plantings at the perimeter of the building need to be well thought out. No plantings that attract animals, provide a habitat for animals, or cause a threat to the building or people should be used. Additionally, the plantings need to be able to survive limited watering, snow removal, etc. Think about maintenance, lines of site for foot traffic and automobiles also. don't make landscape design to crazy \$\$\$\$\$	Roof inspection and walkthroughs are critical prior to membrane installation.	Never consider value engineering until the cost estimates are reconciled, and a full scope clarification is performed. Taking something out that we want, before we know if there are things in the design adding to the cost that we don't want, is not appropriate.	Joint meetings, when possible, are very useful and minimize design teams time, and thus costs. They also more effectively utilize everyone's time. The use of remote meetings, when allowed, can actually increase community participation, create more efficient meetings, and increase overall efficiency and productivity by reducing hours of commuting and travel time.
All energy investments should be evaluated using life cycle cost analysis. That said, remember that the insulation in your walls will be there for the life of the building.	Before a final site plan is determined, snow removal and snow storage plans must be in place. Things like benches, bollards, raised planters, curbs, islands, etc. must all be looked at with an eye for snow. If you don't make it easy, either standards are reduced, or items get damaged.	Mockups should be used on every project, and should involve the commissioning agent, design team, and all impacted trades. The construction team should be clear on air sealing expectations. And Application and installation.	Review all narratives in great detail before they go to the cost estimators.	Consider meeting with abutters on location. It tends to much more productive when you meet with residents in an informal setting. This has proven very useful on many occasions. Relationships with retail & residential Neighbors important.

Energy	Maintenance	Construction	Design	Process
Energy modeling should be done throughout the project, but it is extremely important to set energy performance expectations early, and model from the beginning. Important objectives such as air sealing/air changes used in the modelling should be clearly understood by designers and the construction team so that they can be properly executed.	Before a final site plan is determined, landscaping and grass cutting plans must be established. If you don't make it easy, either standards are reduced, or items get damaged. The sidewalks should be eight feet wide where possible so that the plows don't tear up the landscaping on either side.	The HVAC system flush should be done with the construction filters in, and it should be confirmed that normal pleated filters are installed prior to turnover.	Be very sensitive to words like custom, automated, and operable. Often times there are more creative ways to achieve the same end product with a different approach.	Provide routine updates to the CC on the status of change orders and contingencies. This will make funding transfer requests much easier, as they already know what's coming.
Energy modeling needs to be done based on the normal school day, and the actual hours of operation. The normal school day allows for comparison to benchmarks, and the actual operation allows for budgeting and tracking. It is important to monitor post-occupancy energy use and envelope testing in order to evaluate original model and assumptions made. Often modelers do not get building data feedback,	Designers team and their consultants must put themselves in the shoes of the people who maintain the building and grounds. Make sure there's room to turn a wrench on a trap. Make sure there is clearance to open filter access doors. Make sure there are slop sinks in appropriate locations. Make sure there are outlets in hallways for cleaning equipment. Just use common sense, and if you're not sure please ask.	Extreme care should be taken to temperature and humidity controls and monitoring during wood floor acclimation. Follow designers and Manufacturers spec recommendations.	Storefront is very expensive. Consider wall systems with punched windows to achieve a similar design at a fraction of the cost. However delivery schedules of manufactured window units may be longer than delivery of components for on-site built storefront. These factors need to be evaluated as well.	The most important part of a public forum is to provide them the opportunity to speak and ask questions. The presentation should be short enough to ensure we provide this opportunity.
Solar orientation is very important early in the design, as this has serious impacts on lighting, heating/cooling loads, and potential for solar pv.	In areas where caustic or acidic chemicals are used, ensure all exposed materials can stand up to the environment. Along with surrounding structures and finishes.	Glazed stone products should be inspected carefully upon receipt. They tend to be damaged during delivery.	Glass in the envelope is expensive, and less efficient than the wall system. Do not use more than is needed, and there must be value added in every case.	When reviewing exterior building materials, samples should be provided for display. Size of sample also.

Energy	Maintenance	Construction	Design	Process
Deconfliction of the roof plan is important for solar pv. The electrical plan should include conduit runs from the roof to the electrical room for solar readiness.	Make sure rooftop equipment is not set too high on the curb. If the workers can't reach the access handles, they are less likely to maintain the equipment, and are more likely to get hurt while doing so.	We need to follow our noise ordinance, but we also need to make sure that trucks and other equipment is not idling outside the site waiting for the gates to open. They can stage at truck stops if needed.	Be sensitive to windows in gyms. They are often covered up once the building is operational. If glass is desired, translucent panels are a good alternative when trying to break up the massing.	Street views with and without trees are the most valuable slide in a presentation. What people will really see from their perspective is very important.
The lights in the building need to be able to be turned off when not in use. This can be easily accomplished with the use of occupancy sensors and vacancy sensors rather than a central control system. And keep it simple Ceiling mounted,	Do not paint hand rails. These get scratched and look really bad. All exterior hand rails should be hot dipped galvanized and no painted.	Major deliveries should be coordinated with Police and should be communicated out to the public. The neighborhood should receive news letters via e-mail and also in there mail box. Deliveries should be part of site safety and logistics plan	Limit the number of different exterior building materials. Each transition adds a complexity as well as cost. The rain screen should be comforting to the surrounding structures as well as the eye, simple application and less deviations help reduce costs.	Review the General Conditions and General Requirements carefully. The CM can bury a ton of money in this. Every position being carried needs to be value added, has to have realistic timelines, and their % time on the project needs to be on point. Make sure that the CM knows you will be watching to make sure we get every hour from every person we're paying for.
Occupancy sensors should shut the lights off when the space is not in use, but the lights should have to be manually turned on. Often times the lights turn on when they really aren't needed. (I think that this should apply to offices, classrooms and assembly areas but not to hallways and restrooms.)	Use manual equipment when possible and appropriate. It is more reliable and less expensive to maintain.	You can never communicate too much to the public. People will put up with major inconveniences if they know about them in advance, and know when it will end.	Be very careful when specifying proprietary components. This will add cost to the project.	The designer is required by contract to design to our budget. They need to expend their time and resources to redesign as needed to meet the mark.
Variable speed drives need to be tied into the refrigerant and hot water control valves. If an AHU is driven down, the valves, and then boilers chillers should follow suit.	Epoxy floors in bathrooms, quarry tile in kitchens, and no wax floor products like linoleum in hallways and classrooms. Good value low maintenance surfaces can be a key in long term maintenance cost savings.	When you tell the public you will, or will not, do something. Follow through. It only takes one time to break their trust.	Never trust the manufacturer's rep when they quote costs. They will tell you a much lower cost to get you to specify their product, only to find out that the market dictates exponentially higher costs.	During cost estimating, it is important to push back on the estimators that tell you what something should cost, versus what the market bears.

Energy	Maintenance	Construction	Design	Process
<p>Equipment start times should be staggered greater than 15 minutes prior to turning over a building. I think that where we use VRF and heat pump systems there will be less opportunity for set backs and shut downs because of the slow recovery time for heating and cooling.</p>	<p>Specify ceiling systems like act for ease of maintenance. There are other ceiling systems that are pretty, but make access very difficult. The size off the ATC panels should not exceed 2' x 4'.</p>	<p>Ensure that off-hour phones numbers are posted for residents to call in case of emergency or concerns. Make sure that the number that is posted actually works.</p>	<p>Make sure you specify products that have "or equals" There may be three contractors who can install the same product, but this does not mean your getting competitive pricing. If we use equipment and lighting products that comply with the utilities' energy efficiency program standards as a minimum then we will be assured of getting high quality equipment that is efficient and will be eligible for rebates.</p>	<p>Create a project environment where creative problem solving is encouraged. Never discourage anyone from speaking up. Many crazy ideas have turned out to be brilliant solutions. No such thing as stupid question or solution!</p>
<p>Solar PV systems impact the heating and cooling loads of buildings. This should be factored in when sizing mechanical systems.</p>	<p>Glass should never be carried to floor height to prevent damage.</p>	<p>Dust control is extremely important. A plan must be in place ahead of time, and sufficient water must be available, and delivered. Again part of site safety &amp; logistics plan!</p>	<p>Be very careful when specifying Trane or Mcquay HVAC equipment. They will tell you that it is compatible with BMS software, but it rarely is, and it rarely works correctly.</p>	<p>Establish a personal connection with the neighborhood. Treat the job site like your home, and the abutters like your own neighbors. Walk the job site perimeter and the neighborhood daily. Provide community updates at regular intervals. Advise on upcoming activities, adjustments in work hours or days, etc. Most people just want to know what to expect in advance. Let Abutters see you, it develops a comfort level even though you may not speak frequently.</p>

Energy	Maintenance	Construction	Design	Process
Kitchen hood exhaust fans should be variable speed. These not only use a ton of electricity, they also remove vast quantities of treated air. We should look into getting exhaust hoods with heat exchangers if they are available.	Crushed stone should never be placed at the perimeter of buildings. This leads to broken windows during landscaping	A city employee should be on site every day to provide adequate oversight for all major projects.	Engineers will always overdesign their systems. Push back on the sizing of generators, boilers, hot water tanks, electrical services, chillers, ahu's, etc. Make them justify these components. Not only will smaller equipment cost less, but they are less expensive to operate, and will simplify design and save money in other areas.	Time is often wasted trying to solve a design or construction issue inside the construction trailer. Get out of the trailer, and go look at the problem. Most people are better problem solvers when they are looking at it in real life, than on paper.
If a space is unoccupied, there should be no exhaust or fresh air supply running. This is where the use of EMS is beneficial. Schedules included in the EMS should be carefully reviewed with the correct personnel at commissioning.	North facing overhangs can be problematic for mildew and mold growth.	Any time there are unit prices, such as soils, the city employee needs to watch very carefully the amount of material being removed or provided. These costs can add up fast.	Challenge structural engineers to think outside the box. Their solutions are often not only overdesigned, but they tend to be more complicated than necessary.	Encourage and mentor the youth on the job site. They are the future of the industry.
Flow restrictions in both duct and pipe should be minimized as much as possible. Avoid 90 degree bends when possible.	Porcelain tile stands up better than wood veneer. This should be at least 4 feet high in the hallways.	Trench boxes are not a suggestion. When required, they are not optional.	Market conditions and material costs need to be monitored when considering the escalation to bid number that you carry.	Don't ever be afraid to hit the brakes. It is far better to pause and determine the correct path, than to drive the wrong way for a week.
Pump sizing should be reduced as much as possible as they use a great deal of electricity.	The broadcast of epoxy floors needs to be rough enough to prevent slipping, but not so rough that it can't be cleaned.	Utility companies take forever to do anything. Plan accordingly. City should keep an updated contact list of all utility companies contacts for emergencies, construction and maintenance.	Establish early who is authorized to make design decisions and changes. For example, a teacher can make a request, but the decision to include something in the design needs to come from the project team.	The CM contingency is a misnomer. It may be under the control of the CM, but we have to authorize the use of these funds, and contrary to their belief, the money belongs to the taxpayers.

Energy	Maintenance	Construction	Design	Process
<p>There should be no lights without lighting controls. And a simple lighting control system that satisfies energy code.</p>	<p>Chilled water fountains are not necessary, waste electricity, and are more expensive to maintain. Filters are not necessary either.</p>	<p>Vibration monitoring and existing condition surveys are important depending on the project and proximity to other structures. Historically vibration motoring has saved the city in potential claims.</p>	<p>When reviewing the design with public safety, make sure Police, Fire, and the user group are all in the same room. There can be opposing agendas, and this step is necessary to prevent redesign. Meeting minutes should be taken and issued. When construction actually happens one or two years later, these can then be referred to remind everyone what was agreed upon.</p>	<p>All parties should agree to a submittal turnaround timeframe at the beginning of a project. If this starts to slip, correct it quickly or you can be hit with delays from subcontractors.</p>
<p>You can design the best wall system, but if it's not installed properly, all of your work will be for nothing. Great care needs to be taken before the walls and ceilings are closed up to make sure there are no breaks in your thermal envelope.</p>	<p>Solar panel footprints should be marked so that snow removal can occur as needed without damaging the panels. We would not remove snow from panels. Maybe you are referring to lightening roofs due to a heavy snow occurrence?</p>	<p>If behind in schedule, a plan must be developed and implemented immediately to get back on track. Do not wait until the end of the job to try and make up the time.</p>	<p>Ensure the Design Review Committee is involved early and often. It also proves useful to invite them to working group meetings.</p>	<p>During the creation of the IFB, the OPM should be more involved in the overall process. Both the Designer and the OPM should be reviewing the City front end of the IFB. This appears to be an issue with first time designers and OPM's. The City prepares what it feels is the proper template for the particular Project but it the responsibility of both the Designer and OPM to ensure that the template sent to them, for example has the correct Bid dates, Filed Sub Bidders, the correct number of Alternates, if any are listed, Unit Prices shown, if required, as well as ensure the proper documents along with the technical specification are made a part of the IFB.</p>

Energy	Maintenance	Construction	Design	Process
It would be helpful to know when electric and gas accounts are cancelled and when new accounts are assigned to the City during the construction process. This is to maintain our database and for our electric and gas supply contracts.	Pavers should not be used where plowing occurs.	Pay close attention to the number of tradespeople on the job. This can be a precursor to falling behind on specific trades. Find out early on what software CM / GC uses to monitor Onsite staff as well as all documents.	Involve the community early in the design process. Not only is community feedback important, it's critical to squash rumors before they get out of hand.	Construction Drawings and Specifications should be reviewed by multiple members of the Design Team including not limited to the Architect, OPM, various City Departments/Agencies and most importantly the Public Buildings Department to ensure their accuracy and completeness prior to being sent for review by the DRC and more importantly before placing them in the IFB for the Project.
Have PB Project Managers take a lead role in setting up and conducting inspections by utilities for project rebates for new construction.	Stone dust should be used in lieu of concrete where snow removal does not occur.	Trades that do not work M-F, are not entitled to change orders for overtime to catch up.	If the project requires review by the Conservation Commission, and the commission is asking for mitigation, make sure there were actual adverse impacts to mitigate.	The IFB must clearly state the milestone date(s) that the Contractor is required to make and identify the consequences of missed milestones. Construction is fluid and things happen, but the Baseline Schedule milestones must be clear as the basis of bidding and award.
While other types of energy efficient equipment should always be explored, the initial cost of installation plus cost of annual maintenance of such equipment should be taken into consideration when deciding on new technology. Funding and the proper expertise for this maintenance is not always available to the City.	Exposed steel beams need to be designed in a way to prevent bird nesting.	Analyzing change order credits is just as important as change order adds. Guarantee that contractors will ask for more than they deserve, and offer back less than what we deserve.	Make sure you are coordinating building projects with DPW and Parks and Rec. For example, DPW should not pave a street before a large project starts. We will likely need to tear it up for utility work.	Should there be a sudden need to put an active project on hold for an extended period of time, it is critical that documents to date be printed and archived electronically. This will aid in understanding what obligations have been completed, where the project left off and should pick up from, and if there are issues or items that need to be revised. Inevitably there will be an overwhelming desire to re-start quickly.

Energy	Maintenance	Construction	Design	Process
Embodied carbon analysis should be conducted at least twice. Once in DD and once early in CD's to ensure that we are designing and constructing using low embodied carbon principles, materials, and equipment.	Asphalt curbing should be avoided at all costs. It saves some money up front, but it will not last and will cost more in the long run.	Do not accept an inferior finished product. If it does not meet the design intent, or quality standards. Make the contractor make it right on their dime.	It's never too early to do the site survey. This info can completely reshape a project.	Use certified mail to inform the project neighborhood at the begging of the project and as required for site plan approval. Depending on the project and impacts, consideration should be given to a third mailing in advance of major decisions that will impact the abutters.
Operational and transportation carbon must be considered and managed throughout the design and construction process.	Fencing should not be too close to sidewalks, roadways, or parking lots. Snow gets pushed against the fence causing damage.	Do not wait to perform the punch list until the end of the job. Punch lists should be made, and items addressed, as they arise. Schedule, Punchlists, Commissioning etc. start in the beginning of project.	Perform condition surveys of adjacent properties prior to large projects. If this is not done ahead of time, there is no way to prove that the project did not cause the damage in question.	Engage with the user group and associated staff early and often to ensure their voices are heard and that they are involved in the design process throughout the project.
Develop an air barrier continuity plan to ensure that the construction matches the expected performance of the design and specifications.	Small narrow strips of grass should be avoided. These can not be done with mowers, and therefore do not get adequate landscaping.	Do not install ceilings until all punchlist items above the ceilings are complete. Engineers should be aware of access for filter changing.	Avoid unit prices and allowances when possible. If needed, ensure the specs are crystal clear. This is an area where large change orders are likely, and allowances tend to get eaten up.	When possible remote meetings should be structured as webinars with preregistration to prevent Zoom-bombing. However, promote all attendees to panelists to allow for optimal transparency and participation.
Full and partial wood-framed construction should be considered as it drives the embodied carbon down. However, not all projects are viable for wood framed construction, and there are very few wood framers who do public work.	Pedestrians will take the path of least resistance. If walkways are not direct routes, people will not use them.	Make sure the construction management plan addresses site distribution and traffic issues during the project. This plan needs to be reviewed with public safety, so that they can weigh in and plan their resources accordingly .	When possible, complete hazmat work like oil tank removal ahead of time. The markup in these areas is massive, and the city can, and has, saved hundreds of thousands of dollars by doing it ourselves.	Plan to meet with Inspectional Services and Fire Prevention 3-6 months before the permit process to ensure that information is shared and communication lines remain open.

Energy	Maintenance	Construction	Design	Process
Air leakage has the largest impact on building energy consumption by far.	Fixed trash barrels get emptied by trucks that drive right up to the barrels. Either put the barrels close to a paved surface, or be prepared for damage to site amenities.	Never spend money you don't have. In order to ensure this does not happen, replenish the Mayor's contingency as frequently as possible.	The parameters for traffic studies are critical. The study needs to be broad enough, and data collection needs to be taken at appropriate times.	Never take bidders for granted. Market every project by reaching out individually to all bidders. This process takes months of hard work, but it can save millions of dollars.
Be sure to market our successes. We are leading by example, but if we're not coupling that with marketing our example, then it will not move the larger needle.	Slab on grade is always preferred. Any structure below grade is not only more expensive on the front end, but it is more likely to have environmental issues and costs.	If site excavation requires undermining of utilities like a duct bank, they must be fully supported to prevent collapse.	Even though the traffic work is separate from the project, it is viewed by the general public as one and the same. Therefore, this work must be tracked just as closely to ensure it meets the project schedule.	
Carefully evaluate geothermal well depth options to help control well field costs.	Crank windows are not preferred. They do not stand up over time.	Contractors will typically seek change orders for winter conditions. This needs to be analyzed carefully. If they are responsible for being behind schedule, and then create the winter condition problem, then we don't owe them anything. Additionally, snow removal is not unexpected for a job that occurs during the winter. They will often ask for money for this, but it should not be awarded unless extreme conditions occur. If it is known that the project is going to happen in the winter, winter conditions should be mentioned in the specs to avoid unexpected change orders.	Site distribution is one of the highest priorities on any project. The goal should be to allow student access to play areas without crossing roads or parking lots when possible.	

Energy	Maintenance	Construction	Design	Process
Always install connection points on geothermal well systems to allow for future network geothermal connections.	Garbage disposals need to have guards to prevent injury and damage.	Monitor the sewer piping installation below grade very carefully. If pipe transitions are not smooth and seamless, the building will experience sewer backups and costly repairs down the road.	Walkability and bikeability are important, so both the traffic work and the site design should take these into consideration.	
Carefully watch the submittal process. Product and equipment submittals that deviate from the design specifications should be scrutinized.	Water fountains should be attached to the building when possible. Free standing fountains are more susceptible to damage from freezing if not properly winterized.	Fall protection is not optional.	Concrete walkways should be 8ft wide. 4ft panels yield large ruts on either side from snow removal, and 6ft panels snap from the weight of the trucks.	
	Always run an extra conduit or increase in size for future expansion.	Soil management is extremely important. Care needs to be taken to ensure stockpiles are covered, protected, and not mixed with unsuitable materials. There is a potential for six figure change orders if this is mismanaged.	Roofs need to be designed to be solar ready. This does not require additional steel, but the roof should be designed as clean as possible, and the roof system warranty needs to be compatible with a ballasted pv system.	
	Plumbing cleanouts are required every 50 feet. However, where they are placed is very important, and if needed more should be provided. Think of the plumber trying to clear a clogged pipe.	The quality control inspector on any job, should have no other responsibilities. They need to be focused on QC and making sure we are always looking ahead to make sure what we are doing now, will set us up for success down the road.	Stained concrete is more sustainable than painted concrete.	
	It is good to have P.B. involved in any ADA retrofit projects and work with the City's office of Disability.	Closely monitor allowances. Contractors like to assume that's their money.	There should be no gates on perimeter emergency access roads. and on dumpster enclosures.	

Energy	Maintenance	Construction	Design	Process
	Project design of materials and equipment should reflect anticipated maintenance in years following warranty period to properly service the equipment. Proper shutoffs for equipment should be installed to allow for easier maintenance as is required.	Tree protection needs to be very carefully thought out, and executed. Roots need to be kept buried, wet, and protected. Be realistic with what can be done. If the opportunity to save more trees presents itself during construction, take it. Plans can change if it benefits the project.	Consider reducing the number of cameras inside the building, even if it means increasing the resolution. You can achieve the same level of coverage for a much smaller cost.	
	Make sure if the specifications call for attic stock that it is actually provided and signed for.	If possible, use design-build approach for small fast track projects.	A single main entry is preferred. This improves security and operations.	
	Make sure that the water quality control structures are maintained by DPW.	Roofing Manufacturer contractor installation oversight appears to be lacking for our membrane roofing system installations as numerous leaks are occurring that are related to poor installation	Exterior lighting can comply with the light ordinance, but still be a nuisance to abutters. Shrouding the lights when possible is preferred.	
	Ensure that the volume of rubberized playground safety surfacing is as lean as possible.	A construction schedule should be submitted and approved by the architect and OPM at the onset of the project. Updates should be submitted monthly. Resumes for the On Site Superintendent and other contractor personnel should be reviewed prior to that person being assigned to work on our project.	Asphalt curbing should not be specified. It yields a savings up front, but it will not hold up, and will cost more down the road.	
	Keep planting plans simple, hardy, drought-resistant, and maintenance-friendly. Trees require less maintenance than plants and shrubs.	Windows should and need to be tested for air infiltration and water leaks.	Buffering should always be planned for where cars are facing abutters. Headlights are a nuisance.	

## Project Lessons Learned Update

Energy	Maintenance	Construction	Design	Process
		Site contractors will try to get away with backfilling in two foot lifts if we let them. We need to watch them and remind them what the specifications call for.	When possible, buses and parents should not mix. The bus loop should be separate from the parent drop off.	
		All materials that arrive on the project should be check against the approved submittal.	Do not specify flooring and ceiling systems where they aren't needed. Storage closets, utility rooms, etc. do not need these finishes.	
		The Site Supervisor is an extremely critical position on every project. Push for the best possible individual and demand continuity if at all possible.	When possible, use the building contours to control acoustics from rooftop equipment. This will reduce the need for acoustic screens which are expensive.	
		Temp fencing must be heavily anchored at all times to prevent the wind from knocking it over.	Line of site at the main entry is important to efficient operations. Make sure that the administrative staff can easily see the main entrance.	
		With a declining trade workforce and less viable bidders for our projects, it's extremely important to maintain good working relationships with our contractors. This doesn't mean that we should ever be taken advantage of, but it does mean that we must always treat everyone fairly.	Make sure that athletic outdoor areas are designed in a way that prevents negative impacts to abutters via foul balls or other flying objects.	
			Make sure that the full scope of work has been identified before starting design. Scope creep can bust a budget very quickly.	

Energy	Maintenance	Construction	Design	Process
			Slab moisture mitigation should not be included in the base bid. If needed, it should be priced out and paid for out of contingency.	
			Do not specify water based wood floor finish. It does not bond as well. Low voc oil based finish should be specified whenever possible.	
			3 story buildings are appx 10% more energy efficient, less costly to build, and better utilize urban sites, than single or 2 story buildings.	
			For small buildings, consider prefab structures. They are much less expensive and their quality has improved significantly over the years.	
			City water flow tests should be performed early in the design phase. This will determine what fire equipment is needed. Video inspections of sewage lines and Fire protection lines also.	
			AED devices should be hard wired into the building fire alarm panel. This will ensure that dispatch is notified when an AED is used.	
			Equipment must be specified and installed in new buildings to ensure police and fire radios work.	

Energy	Maintenance	Construction	Design	Process
			Whenever traffic improvements are made around a project, we must be sensitive to the ripple effect it has on the broader community.	
			Do not assume other departments who review the plans, understand what they're looking at. If they don't fully understand the plans, they will likely require something different during construction, thereby leading to a change order.	
			Do everything you can to verify all existing conditions. If there are items that are either unknown, or if plans do not match actual conditions, expect significant change orders.	
			CMU is much more durable than drywall, but it does not need to be carried up to the ceiling. Use durable wall products where wear is expected. Above that, drywall is perfectly acceptable.	
			Be very sensitive to acoustics in the cafeteria and gym. If not designed correctly, these spaces become very problematic.	
			When specifying floor tile, thin mudset is perfectly acceptable. Thick just costs more with little to no added value for our applications.	

Energy	Maintenance	Construction	Design	Process
			If the project calls for irrigation, consider both rain water harvesting, as well as irrigation wells, to help reduce long term costs.	
			Exterior emergency generators should be sited in locations that minimize the impact to abutters. They are loud when operating.	
			Skylights should be avoided. They leak over time, and are a hazard when navigating roofs in the winter.	
			The landscaping design should be carefully analyzed. There are often ways to achieve a similar outcome for a fraction of the cost.	
			Security cameras are great, but if there is no light in the area they are covering, they are useless.	
			Renovation that is performed to the same standard as new construction is significantly more expensive.	
			Make sure the correct scope of work is assigned to the correct trade. Many trades can perform a variety of work elements, but their costs can vary significantly.	

## Project Lessons Learned Update

Energy	Maintenance	Construction	Design	Process
			<p>Make sure all as built building plans, roof and equipment warranties, and operation and maintenance manuals are put in the Public Buildings file at the end of the project. It seems that this should be done by our Project Managers.</p>	
			<p>Make sure that the designers are applying AAB and ADA codes for accessibility whichever is stricter.</p>	
			<p>Do more in-house design for small projects which can save on architects fees.</p>	
			<p>Roofing Systems should be designed to withstand the type of foot traffic / potential additional equipment installations. Membrane roofing while much less expensive than built up systems, do not stand up well to heavy foot traffic and Solar Panel installation. Additional walkway pads should be mandatory. Stronger verbiage should be in the specifications outlining the apparent lack of oversight by both the GC/CM site superintendents as well as manufacturer during the roof installation.</p>	

### Project Lessons Learned Update

Energy	Maintenance	Construction	Design	Process
			<p>Any roof design should incorporate the collection of all water to an onsite water treatment system from the roof, whether an interior or exterior roof drainage system is being used. The idea is to keep the water flowing and not standing. Avoiding direct tie in to an existing storm water street system should be discouraged due to the potential over charging of the existing storm system.</p>	
			<p>Construction Drawings and Specifications should be reviewed by multiple members of the Design Team including not limited to the Architect, OPM, various City Departments/Agencies and most importantly the Public Buildings Department to ensure their accuracy and completeness prior to being sent for review by the DRC and more importantly before placing them in the IFB for the Project.</p>	

## Project Lessons Learned Update

Energy	Maintenance	Construction	Design	Process
			<p>A minimum of a Two year contractor warranty on all workmanship and materials/equipment should be made mandatory in the project specification. Extended warranties/service on equipment such as HVAC and Elevators with the time line stated in the specifications, such service to be routine monthly maintenance and in the case of an elevator, the first State Re-inspection, a year after the initial State Inspection.</p>	
			<p>Subconsultants to the architect often represent the largest change order liability and therefore should be carefully evaluated when submitted to be part of the design team. Sometimes paying a little more up front for a solid subconsultant can pay dividends in avoided changes orders down the road.</p>	
			<p>Demand frequent field visits by the subconsultants throughout the design process. This will help prevent change orders due to errors and omissions.</p>	
			<p>When radiant panels are used, make sure they are located out of reach of the building occupants, or ensure they are designed to operate at low on-contact temperatures.</p>	

## Project Lessons Learned Update

Energy	Maintenance	Construction	Design	Process
			Project design of materials and equipment should reflect anticipated maintenance in years following warranty period to allow the proper service to the equipment.	
			Commissioning should commence early in the design process. This must be clearly stated in the agreement with the OPM, made clear to the design team, and should be enforced by the department.	
			Make sure that all hazardous material testing reports are included in the bid plans and specifications.	
			Ensure that phosphorous reduction opportunities are explored with Public Works.	
			There's almost no such things as doing too many soil samples. This will limit change orders in the future.	
			Push Eversource hard on their electrical service upgrade approach and cost estimates. Otherwise, we must carry a healthy contingency for utility work cost overruns.	
			If there are changes in the building construction type, make sure a new code report is conducted and that the design is updated to reflect the changes.	

Energy	Maintenance	Construction	Design	Process
			Electrical drawings need to indicate which systems do not need to be in conduits such as Access Control and Security.	
			Ensure Surge protection for VRF units is identified on electrical drawings.	
			For renovation of existing stairs design needs to include shims at risers to accommodate code required nosing and installation of stair treads.	
			locations and installation details must be coordinated with base building partition types.	
			Playground Drainage panels have become necessary to address reduced sloping of rubber surfaces in all accessible playgrounds to meet storm drainage requirements.	
			Exterior drinking fountains - Plumbing drawings must coordinate all necessary plumbing lines. Where possible fountains should be wall-mounted on building exterior.	
			EV site design needs to follow EV grant program requirements.	
			For each specific project clarify with Fire Prevention where Beam detectors are preferred over smoke detectors.	
			Gym floor finish - use satin finish poly to reduce glare from lights and provide more uniform finish.	

### Project Lessons Learned Update

Energy	Maintenance	Construction	Design	Process
			Although Elevator Sump pits can be eliminated under state code, local jurisdiction requires sump in elevator pit.	
			Gym mechanical coordination at the floor and with the structure. Air Supply height above floor to be coordinated with HVAC requirements without interfering with clear floor space requirements around perimeter of gym.	
			Exterior Utility Bollards – specify under sitework for better coordination and lower bid costs vs specifying in Miscellaneous Metals. Show specific layouts in particular related to Eversource transformer requirements.	
			Ensure Site Lighting control/timer programming is consistent with operational requirements.	
			Make sure back flow preventors required at detergent dispensing systems, i.e. janitor sinks are shown and specified in documents.	
			reviewed to ensure that lockers can be easily used by students. Consider requiring samples in specification.	
			Selective Demolition - In design an overall evaluation should be presented by the team. Leaving small amounts of walls may create more construction work not less.	

Building	Asset Type	Asset Name	Recommendation	Cost
B010-Police Annex	Accessibility Item	Exterior	Since there is only one accessible parking space, restripe and provide signage for a "van accessible" parking space; Install code-compliant handrail extensions at the bottom of the entry stairs.	\$ 750
B005-Crafts St DPW Operating Ctr (Stable)	Accessibility Item	Parking	Provide a "van accessible" parking space including signage; Restripe accessible space to include a 5ft. access aisle.	\$ 825
Forte Park	Mechanical		Install manual damper in ventilation fans to prevent transfer of cold air and moisture into building.	\$ 1,343
B001-City Hall	Accessibility Item	Corridors	Reposition clock on 1st floor or install a cane-detectable barrier around it because it projects >4" into the circulation route and is therefore a protruding object; Reposition signs in 2nd floor corridor because they reduce headroom to <80" AFF.	\$ 1,500
B033-Albermarle Fieldhouse	Lintels group	Lintels Summary	Clean and repaint steel lintels.	\$ 1,550
B036-Nahanton Park Fieldhouse	Window group	Window Group 1 - Glass Block	Repair glass blocks in glass block exterior windows that are cracked (2ls).	\$ 1,632
B018-Waban Library	Painting group	Painting group 1	Scrape, prepare surface and paint woodwork at gable ends(150sf).	\$ 1,842
B035-Cabot Park Fieldhouse	Int. Wall group	Interior Walls	Repair and patch scattered areas of interior wall damage (10%=200sf).	\$ 1,865
B033-Albermarle Fieldhouse	Ext receptacles group	Ext receptacles group 1	Add Exterior GFI electrical power receptacles at front and rear entrance (2ea).	\$ 1,865
B034-Auburndale Cove Fieldhouse	Ext receptacles group	Ext receptacles group 1	Add (2) all-weather GFI electrical power receptacles adjacent to building entrances.	\$ 1,865
B036-Nahanton Park Fieldhouse	Flooring	Flooring 2 - Concrete	Scrape, prepare surface and recoat bathroom floors with a non-slip epoxy floor finish (200sf).	\$ 1,865
B036-Nahanton Park Fieldhouse	Int receptacles group	Int receptacles group 1	Replace 10% worn power receptacles and add GFI receptacles to the Men's and Women's toilets (2ea).	\$ 1,865
B035-Cabot Park Fieldhouse	Int receptacles group	Int receptacles group 1	Add GFI electrical power receptacles to the men's and women's toilet rooms.	\$ 1,865
B035-Cabot Park Fieldhouse	Ext receptacles group	Ext receptacles group 1	Add (2) all-weather GFI receptacles on the outside perimeter of the building.	\$ 1,865
B040-Forte Park (Allison)	Element group	Element group 1	Repair ornamental portion of columns, prepare surfaces, and repaint (2 EA).	\$ 1,905
B042-Upper Falls Fieldhouse	Door group	Door group 1	Replace single hung door and add security door grill (1 EA).	\$ 1,905
B040-Forte Park (Allison)	Other element group	Ramp	Repair exterior concrete ramp apron (100sf).	\$ 1,974
B015 - Elliot St. Operations Center	Canopy group	Canopy group 1	Scrape, prepare surface and repaint wood trim (30sf).	\$ 2,114
B042-Upper Falls Fieldhouse	Wall group	Wall group 1	Repair damaged areas of exterior concrete wall as required (10%=100sf).	\$ 2,150

B040-Forte Park (Allison)	Roofing group	Roofing group 1	Install new drip edge along rear edge of roof (20lf) and repair asphalt shingles in the area which are damaged.	\$ 2,205
B036-Nahanton Park Fieldhouse	Painting group	Painting group 1	Scrape, caulk, prepare surface and repaint exterior soffit and trim (250lf).	\$ 2,540
B022-Pelligrini Park Field House	Accessibility Item	Signage	Install tactile and Braille room and exit signage mounted adjacent to latch side door.	\$ 2,550
B042-Upper Falls Fieldhouse	Int. Wall group	Int. Wall group 1	Repair areas of minor damage in exterior concrete and interior CMU walls as required and repaint(10%=140sf).	\$ 2,748
B034-Auburndale Cove Fieldhouse	Int. Wall group	Int. Wall group 1	Clean, point, and paint interior CMU walls (20%=300sf).	\$ 2,754
B021-Crystal Lake Bathhouse	Water heater (direct) group	Water heater (direct) group 1	Install drip pan under unit and discharge to safe waste per code requirements.	\$ 2,948
B036-Nahanton Park Fieldhouse	Water heater (direct) group	Water heater (direct) 2 - Heater 2	Provide enclosure under the women's room sink to protect water heater from tampering and from a child accidentally hitting the pressure relief valve and getting scalded. Also provide a drip pan and drain under the water heater.	\$ 3,156
B035-Cabot Park Fieldhouse	Flooring	Concrete Flooring	Clean and perform minor repairs on concrete flooring (260sf).	\$ 3,336
B015 - Elliot St. Operations Center	Water heater (direct) group	Water heater (direct) group 1 - kitchen hw htr	Provide drain pan under unit with discharge piping to safe waste per code requirements.	\$ 3,350
B015 - Elliot St. Operations Center	Door group	Doors	Replace weather stripping at pairs of loft doors (2ea).	\$ 3,350
B022-Pelligrini Park Field House	Fan group	Fan group 2 - kitchen fan	Replace kitchen exhaust fan with a new fan unit.	\$ 3,645
B022-Pelligrini Park Field House	Fan group	Fan group 3 - TV room fan	Replace TV room exhaust fan with a new fan unit.	\$ 3,645
B019 - Nonantum Library	Fan group	Fan group 2 - basement womens room	Provide new exhaust fan, 75 CFM in basement womens room. Interlock controls with light.	\$ 3,645
B030-Elliot Street Yard Garage	Fan group	Fan Group 2 - Garage Office Fan	Replace garage office fan with a code-compliant fan with protected blades.	\$ 3,645
B001-City Hall	Column Group Summary	Column Group Summary 1	Clean and repaint corroded areas at bases of two steel comumns in lower basement (boiler room) that are heavily corroded. After cleaning, inspect for loss of section and repair if necessary.	\$ 3,722
B027-Public Buildings Department	Ext receptacles group	Ext receptacles group 1	Install (4) all-weather GFI receptacles along the perimeter of the structure.	\$ 3,731
B017- Newton Free Library	Ext receptacles group	Exterior Receptacles	Install (~4) all-weather GFI receptacles at or near exterior doorways.	\$ 3,731
B024-Jeanette Curtis West Rec Ctr (The Hut)	Ext receptacles group	Ext receptacles group 1	Add (4) Exterior GFI Receptacle front and rear entrance.	\$ 3,731
B026-Burr Park Field House	Ext receptacles group	Ext receptacles group 1	Add (4) Exterior GFI Receptacles at the front and rear entrances.	\$ 3,731

B036-Nahanton Park Fieldhouse	CW service/meter group	CW service/meter group 1	Provide combustion air dampers at openings, or provide heat trace on cold water service piping. Note there is a wall switch for heat trace, but no heat trace line present.	\$ 3,758
B024-Jeanette Curtis West Rec Ctr (The Hut)	Bearing wall group	Bearing wall group 1	Pack 5 SF of gaps in brick with non-shrink grout.	\$ 3,791
B036-Nahanton Park Fieldhouse	Other element group	Entry Pad	Repair crack in concrete entry pad at door threshold (30sf).	\$ 3,849
B041-Newton Ctr. Metal Storage Building	Wall group	Wall group 2	Repair damaged areas of concrete foundation wall (400sf).	\$ 3,879
Forte Park	Electrical		Add egress lighting to Men's and Women's toilets.	\$ 3,957
B022-Pelligrini Park Field House	Sink group	Sink Group 2 - Janitor's Sink	Replace janitor's sink.	\$ 3,957
B009-Police Headquarters Garage	Specialties group	Bathroom Accessories	Install new bath accessories in bathrooms (2ea).	\$ 3,960
B035-Cabot Park Fieldhouse	Sanitary sump pump group	Sanitary sump pump group 1	Replace sump pump because it is at the end of its useful life (1ea).	\$ 3,995
B020-Auburndale Library	Fan group	Fan group 1 - 1st floor janitor closet	Install 75 CFM fan to exhaust air per code requirements.	\$ 3,995
B035-Cabot Park Fieldhouse	Ceiling group	Concrete Ceiling	Repair damaged areas of concrete ceiling (40%=100sf).	\$ 4,100
B021-Crystal Lake Bathhouse	Roof deck group	Roof deck group 1	Repair 25 SF of concrete slab in room where the slab has deteriorated.	\$ 4,125
B035-Cabot Park Fieldhouse	Lintels group	Lintels group 1	Repair deteriorated lintels at exterior brick masonry walls as required (50lf).	\$ 4,274
B042-Upper Falls Fieldhouse	Ceiling group	Ceiling group 1	Scrape, repair, prepare surface and repaint concrete ceiling (500sf)	\$ 4,338
B029-Crafts Street Garage	Radiation/terminal unit group	Radiation/terminal 2 - office electric baseboard	Replace electric baseboard sections in office area with new baseboard units.	\$ 4,343
B029-Crafts Street Garage	Sanitary sump pump group	Sanitary sump pump group 1	Replace sump pump.	\$ 4,395
B033-Albermarle Fieldhouse	Egress Lighting	Egress Lighting	Replace battery back-up packs in egress lights (2 ea) which failed when tested.	\$ 4,655
B042-Upper Falls Fieldhouse	Ext. lighting group	Ext. lighting group 1	Replace existing exterior lighting fixtures with 2 new outdoor LED fixtures on the entrance patio to improve lighting levels, reduce maintenance and improve energy efficiency.	\$ 4,655
B010-Police Annex	Ext receptacles group	Ext receptacles group 1	Add 5 all-weather GFI receptacles along the perimeter of the structure.	\$ 4,664
B011 - Newton Corner Library	Ext receptacles group	Ext receptacles group 1	Add 5 all-weather GFI receptacles along the perimeter of the structure.	\$ 4,664
B005-Crafts St DPW Operating Ctr (Stable)	Ext receptacles group	Ext receptacles group 1	Install 5 all-weather GFI receptacles along the perimeter of the structure.	\$ 4,664
B022-Pelligrini Park Field House	Ext receptacles group	Exterior Receptacles	Install exterior GFI sockets at exterior doors (Est. 5).	\$ 4,664

B028 - Jackson Homestead Museum	Ext receptacles group	Ext receptacles group 1	Add 5 all-weather GFI receptacles along the perimeter of the structure.	\$ 4,664
B032-Lower Falls Community Center	Ext receptacles group	Ext receptacles group 1	Add 5 all-weather GFI receptacles along the perimeter of the structure.	\$ 4,664
B026-Burr Park Field House	Stair	Stair 1	Install new code-compliant hand railings to basement (35lf).	\$ 4,695
B018-Waban Library	Fan group	Fan group 2 - Basement bathroom 1	Provide 75 CFM exhaust fan and ductwork for basement bathroom and vent to outside. Interlock fan with light switch.	\$ 4,745
B018-Waban Library	Fan group	Fan group 4 - 1st floor bathroom	Provide 75 CFM exhaust fan and ductwork and vent to outside for first floor bathroom.	\$ 4,745
B018-Waban Library	Fan group	Fan group 5 - Janitors closet	Provide 75 CFM exhaust fan and ductwork and vent to outside.	\$ 4,745
B042-Upper Falls Fieldhouse	Int. Door group	Int. Door group 1	Repair minor damage on interior hollow metal doors and repaint (3ea).	\$ 4,895
B027-Public Buildings Department	Int. Door group	Int. Door group 1	Replace door from office to garage with fire rated door and frame (1ea).	\$ 5,040
B036-Nahanton Park Fieldhouse	Element group	Cupola	Repair minor damage on cupola and refinish (1ea).	\$ 5,198
B006-Fire Station #1, Newton Corner	Ext. lighting group	Ext. lighting group 1	Replace all exterior lighting (6 wall pack units) to improve safety & security and provide a lighting controller system.	\$ 5,595
B026-Burr Park Field House	Egress Lighting	Egress Lighting	Add (6) egress lighting and lit EXIT signs at exits.	\$ 5,595
B029-Crafts Street Garage	Int. Door group	Int. door group 2 (double hung typical)	Repair, prepare surfaces and paint /seal double hollow metal and wood interior doors (4ea).	\$ 5,868
B036-Nahanton Park Fieldhouse	Ext. lighting group	Ext. lighting group 1	Replace all exterior lighting to improve safety and security and include a lighting controller system to improve energy efficiency.	\$ 5,937
B035-Cabot Park Fieldhouse	Ext. lighting group	Ext. lighting group 1	Replace all exterior lighting to improve safety and security and include a lighting controller system to improve energy efficiency.	\$ 5,937
B019 - Nonantum Library	Door group	Double Hung Exterior Doors	Repair, refinish pair of wood doors as required (1ea).	\$ 6,245
B019 - Nonantum Library	Accessibility Item	Signage	Install tactile and Braille room and exit signage adjacent to latch side of door at all permanent rooms and space; Provide directional signage to the accessible entrance at the main entrance; Provide directional signage to the accessible toilet room.	\$ 6,450
B020-Auburndale Library	Lintels group	Lintels group 1	Scrape, prepare surface and repaint exposed areas of steel lintels(50lf).	\$ 6,524
B013 - Kennard Estate	Ext receptacles group	Ext receptacles group 1	Install all-weather GFI receptacles along the perimeter of the structure (7ea).	\$ 6,528
B031-Emmerson Community Center	Door group	Door group 1	Refurbish single hollow metal doors (3ea minor) and pairs of hollow metal doors (3ea minor) as required.	\$ 6,642

B035-Cabot Park Fieldhouse	Heating piping/insulation group	Heating piping/insulation 1 - hot water piping	Insulate all exposed heating piping that is not insulated.	\$ 6,764
B035-Cabot Park Fieldhouse	Dom. water piping/insulation group	Dom. water piping/insulation group 1	Install insulation on all exposed hot water piping.	\$ 6,764
B033-Albermarle Fieldhouse	Slab on grade group	Slab on grade group 1	Remove all existing exterior concrete slab coatings, seal cracks in slab, and reseal with a concrete sealer.	\$ 6,764
B011 - Newton Corner Library	Accessibility Item	Signage	Install tactile and Braille signage adjacent to latch side of door at all permanent rooms and space and at exits; Provide signage to accessible bathroom; relocate kitchen to accessible level unless an elevator is installed to second floor.	\$ 6,900
B019 - Nonantum Library	Egress Lighting	Egress Lighting 1	Add egress lighting fixtures (2) units to toilets.	\$ 7,290
B016-Crafts Street Sand_Salt Shed	Ext receptacles group	Ext receptacles group 1	Install two all-weather GFI exterior power receptacles at each hut (4 total).	\$ 7,395
B018-Waban Library	Ext receptacles group	Ext receptacles group 1	Add (4) exterior all-weather GFI receptacles around the perimeter of the building.	\$ 7,395
B020-Auburndale Library	Ext receptacles group	Ext receptacles group 1	Add (4) exterior all-weather electrical GFI receptacles.	\$ 7,395
B029-Crafts Street Garage	Window group	Window group 2 (store front)	Install and/or repair storefront rubber glazing seals(140sf).	\$ 7,515
B033-Albermarle Fieldhouse	Sink group	Sink group 1 - Janitor's Sink	Replace/fix janitor's sink.	\$ 7,566
B026-Burr Park Field House	Fan group	Fan group 1	Provide exhaust fans at 75 CFM per toilet/urinal. Interlock fans with light switches to bathrooms.	\$ 7,916
B030-Elliot Street Yard Garage	Ext. lighting group	Ext. lighting group 1	Add (4) exterior lighting units with a lighting controller system to corners of building to improve security.	\$ 7,916
B020-Auburndale Library	Egress Lighting	Egress Lighting 1	Add egress lighting fixtures (2) units to toilets and replace battery back-ups in all Egress lighting.	\$ 7,988
B036-Nahanton Park Fieldhouse	Sink group	Water Fountain at Entry	Replace missing water fountain near entry.	\$ 8,142
B018-Waban Library	Fire/Smoke Alarm System	Fire/Smoke Alarm System 1	Install audible alarms in toilets for fire alarm system to meet ADA requirements (4ea).	\$ 8,790
B033-Albermarle Fieldhouse	Ext. lighting group	Ext. lighting group 1	Install additional exterior lighting (4 wall pack units) to improve safety & security with a lighting controller system to improve energy efficiency.	\$ 9,311
B013 - Kennard Estate	Int receptacles group	Int receptacles group 1	Add additional electrical duplex receptacles (~10 locations).	\$ 9,326
B029-Crafts Street Garage	Ext receptacles group	Ext receptacles group 1	Install (10) all-weather GFI receptacles at or near exterior doorways.	\$ 9,326
B030-Elliot Street Yard Garage	Ext receptacles group	Ext receptacles group 1	Add 1 duplex receptacle per exterior door. (est. 10 receptacles)	\$ 9,326

B031-Emmerson Community Center	Int. Wall group	Brick Masonry Walls	Repair damaged areas of interior brick masonry wall as required (5%=900sf).	\$ 9,516
B022-Pelligrini Park Field House	Lintels group	Lintels	Clean and repaint lintels at exterior doors(4ea).	\$ 9,698
B022-Pelligrini Park Field House	Ceiling group	Plaster and Lathe	Repair plaster and lath ceiling in boiler room (300sf).	\$ 10,047
B024-Jeanette Curtis West Rec Ctr (The Hut)	Fire/Smoke Alarm System	Fire/Smoke Alarm	Upgrade Fire/Smoke detectors with audible alarms and strobes to meet ADA requirements	\$ 10,184
B019 - Nonantum Library	Ext receptacles group	Ext receptacles group 1	Install (4) all-weather GFI receptacles around the exterior of the building.	\$ 10,395
B001-City Hall	Stair group (structure)	Stairs	Clean and paint steel egress stairs from Boiler Room to exterior and secure loose grating steps. After steel clean, inspect steel framing for loss of section and repair if necessary.	\$ 10,676
B018-Waban Library	Element group	Window Grates	Remove areaway grates, clean out areaways, paint grates and reinstall grates (100sf).	\$ 10,745
B029-Crafts Street Garage	Stair	Stair group 2	Add handrail to interior metal stair on the wall side(50lf)	\$ 10,773
B019 - Nonantum Library	Door group	Single Hung Exterior Doors	Repair single hung wood doors as required and replace thresholds, door hardware(2ea).	\$ 10,778
B007-Fire Station #2, West Newton	Accessibility Item	Parking	Restripe designated parking space to have an 8 ft. access aisle; Install a new parking sign with the words "Van Accessible"; Install a curb ramp to provide accessible path from designated accessible space to entrance.	\$ 10,875
B010-Police Annex	Door group	Single Hung Doors	Repair (minor) single hung doors and hardware (3ea).	\$ 10,949
B035-Cabot Park Fieldhouse	Painting group	Painting group 1	Paint Exterior masonry wall (1500sf). Scrape, prepare surface and paint exterior wood trim work (200sf).	\$ 11,009
B017 - Main Library	Doors	Loading Dock	Replace exterior doors	\$ 11,250
B024-Jeanette Curtis West Rec Ctr (The Hut)	Other element group	Side Entry Steps	Rebuild wood stairs at left and install new handrails(30lf). Repair /replace plywood stair enclosure (200sf).	\$ 11,646
B027-Public Buildings Department	Egress Lighting	Egress Lighting 1	Add (6) egress and EXIT signs per code to office and garage bay.	\$ 11,873
Newton Corner Library			Remove abandoned oil tanks and piping through wall and seal penetrations.	\$ 12,222
B031-Emmerson Community Center	Lintels group	Lintels group 1	Repair/reset lintels in areas with bulging brick as required (20%=60lf).	\$ 12,255
B029-Crafts Street Garage	Water heater (direct) group	Water heater (direct) group 1	Replace garage sink hot water heater with new electric hot water heater. Install drip pan under office hot water unit and discharge piping to safe waste per code requirements.	\$ 12,257

B020-Auburndale Library	Fire/Smoke Alarm System	Fire/Smoke Alarm System 1	Install audible alarms in toilets for the fire alarm system to meet ADA requirements.	\$ 12,495
B013 - Kennard Estate	Roof beam group	Roof beam group 1	Install collar ties at roof rafters- low attic under.(150sf)	\$ 12,819
B019 - Nonantum Library	Ext. lighting group	Ext. lighting group 1	Replace all exterior lighting (6 wall pack units) to improve safety & security and include lighting controller system.	\$ 12,870
B015 - Elliot St. Operations Center	Ext. lighting group	Ext. lighting group 1	Add four more wall pack lights to exterior of building to improve lighting conditions at night.	\$ 12,975
B015 - Elliot St. Operations Center	Accessibility Item	General Interior	Provide an accessible bench, locker and table in the central locker area; Replace faucets in the kitchenette to be ADA-compliant; Reposition or remove television in kitchenette; Replace door knobs with hardware that is operable without tight grasping, pinching or twisting (lever type).	\$ 13,050
City Hal;	clock		Upgrade cupola tower clock	\$ 13,228
B031-Emmerson Community Center	Int receptacles group	Int receptacles group 1	Add additional GFI receptacles to classroom space.	\$ 13,470
B031-Emmerson Community Center	Ext receptacles group	Ext receptacles group 1	Add GFI receptacles to exterior of building near each entrance.	\$ 13,470
B034-Auburndale Cove Fieldhouse	Ext. lighting group	Ext. lighting group 1	Replace all exterior lighting lighting units to improve safety, security and energy efficiency. Install a lighting control system to improve energy efficiency.	\$ 13,965
B024-Jeanette Curtis West Rec Ctr (The Hut)	Ext. lighting group	Ext. lighting group 1	Add exterior lighting wall pack units (10ea) to improve safety & security.	\$ 14,738
B017- Newton Free Library	Other element group	Exterior loading dock	Install two new rubber bumpers at loading dock. Patch spalled concrete at loading dock knee wall and clean & coat exposed rebar (150 sf).	\$ 14,853
B034-Auburndale Cove Fieldhouse	Door group	Exterior Doors	Replace exterior FRP doors that have corroded metal frames with new (3ea).	\$ 15,120
Elliot street Sand and Salt Shed			Remove salt stock pile. Repair, clean and seal concrete floor (7500sf) to increase the useable life of the floor.	\$ 15,296
DPW Elliot St	heating		Forestry replacement reznor unit	\$ 15,901
B034-Auburndale Cove Fieldhouse	Sink group	Drinking Fountains	Replace missing indoor drinking fountain and non-functioning outdoor drinking fountain with new ADA-compliant fountains.	\$ 16,284
B034-Auburndale Cove Fieldhouse	Int. Door group	Int. Door group 1	Remove and replace doors and hardware(5ea).	\$ 16,301
B041-Newton Ctr. Metal Storage Building	Wall group	Wall Group 1	Repair and clean entire exterior metal siding and get ready for painting 3200sf).	\$ 17,190

B031-Emmerson Community Center	Flooring	Resilient VCT Flooring	Repair/replace areas of VCT flooring that are damaged and worn (20%=1200sf).	\$ 17,487
B011 - Newton Corner Library	Accessibility Item	General Interior	Remove existing drinking fountain and provide a hi-lo drinking fountain in an area that does not interfere with clear maneuvering space or path of travel; Provide door hardware that is operable without tight grasping, pinching or twisting (lever type); Relocate the fire extinguisher so that it does not protrude into the path of travel; Extend the sloped corridor floor so that it does not exceed 5 percent.	\$ 19,200
B005-Crafts St DPW Operating Ctr (Stable)	Int. Wall group	Int wall group 1 (brick masonry)	Repair & repoint exposed brick wall (5%=300sf).	\$ 19,242
B024-Jeanette Curtis West Rec Ctr (The Hut)	Ceiling group	Linear Wood Ceiling	Repair (5%=150sf) and paint(3100sf) exposed framing of the gym ceiling.	\$ 19,884
B031-Emmerson Community Center	Stair	Stair 1	Scrape, prepare surface and repaint stair treads with non skid epoxy paint (32r).	\$ 20,526
B041-Newton Ctr. Metal Storage Building	Painting group	Painting group 1	Repaint exterior metal wall with a rust inhibiting paint (3200sf).	\$ 20,526
B028 - Jackson Homestead Museum	Dom. water piping/insulation group	Dom. water piping/insulation group 1	Provide pipe insulation on all hot water piping in water heater closet.	\$ 20,663
Nahanton Park Field House	Electrical		Add (2) exterior all-weather GFI receptacles around the perimeter of the building. •Add egress lighting fixtures (2) units to men's and women's bathrooms and replace battery back-up units (4) in all other Egress lighting fixtures. •Install audible fire alarm horns and beacons in toilets to meet ADA requirements (2ea). •Upgrade interior lighting to Super T-8 flourescent fixtures to improve energy efficiency.	\$ 20,819
B042-Upper Falls Fieldhouse	Painting group	Painting group 1	Repaint exterior concrete wall (1400sf) and underside of concrete overhang (500sf) after all repairs are complete.	\$ 21,167
B022-Pelligrini Park Field House	Flooring	Resilient VCT	Remove and replace vct floor in office/restroom areas(1400sf)	\$ 21,230
B026-Burr Park Field House	Fire/Smoke Alarm System	Fire/Smike Alarm	Upgrade Fire/Smoke detectors with audible alarms and strobes to meet ADA requirements	\$ 22,391
B019 - Nonantum Library	Fire/Smoke Alarm System	Fire/Smoke Alarm System 1	Install audible alarms in toilets for fire alarm system to meet ADA requirements (4ea).	\$ 23,049
B013 - Kennard Estate	Dom. water piping/insulation group	Dom. water piping/insulation group 1	Provide insulation on all domestic water piping.	\$ 23,108

B019 - Nonantum Library	Int. Door group	Int. Door group 1	Repair, refinish interior doors (50% =9ea).	\$ 23,390
B020-Auburndale Library	Ext. lighting group	Ext. lighting group 1	Replace all exterior lighting (6 wall pack units) to improve safety & security. Include a lighting control system to improve energy efficiency.	\$ 23,490
B027-Public Buildings Department	Fire/Smoke Alarm System	Fire/Smoke Alarm System 1	Update smoke alarm and strobes to ADA-compliant units.	\$ 24,095
B035-Cabot Park Fieldhouse	Accessibility Item	Exterior	Rebuild the curb cut at the ramp to be stable, firm, and slip resistant condition; Extend landing at pullside of door to 18"; Provide accessible path to swings and playground that is ADA compliant.	\$ 24,150
B031-Emmerson Community Center	Ceiling group	Acoustical Tile Ceilings	Repair acoustical ceilings (20%=2400sf)	\$ 24,474
B005-Crafts St DPW Operating Ctr (Stable)	Egress Lighting	Egress Lighting 1	Replace battery packs in all Egress lighting units.	\$ 25,016
B022-Pelligrini Park Field House	Fire/Smoke Alarm System	Fire Alarm System	Upgrade audible fire alarm and strobe to ADA compliance.	\$ 25,091
B007-Fire Station #2, West Newton	Stair	Stair 1	Install new treads on stairs from 1rst floor to attic (35r).	\$ 25,829
B010-Police Annex	Dom. water piping/insulation group	Dom. water piping/insulation group 1	Provide piping insulation on all heating piping in boiler room.	\$ 26,489
B026-Burr Park Field House	Oil tank group	Oil tank group 1	Remove and properly dispose of two abandoned oil tanks.	\$ 27,000
B015 - Elliot St. Operations Center	Fire/Smoke Alarm System	Fire/Smoke Alarm System	Upgrade fire alarm and horn strobes to be ADA-compliant (30 Units).	\$ 27,977
B015 - Elliot St. Operations Center	Fan group	Bathroom Exhaust Fans	Provide fan at 75 CFM per toilet/urinal.	\$ 30,240
B031-Emmerson Community Center	Wiring group	Wiring group 1	Support communications cables by cable tray system and properly secured per code.	\$ 30,995
Pelligrini pk fieldhouse	finishes		Renovate kitchen cabinets and plumbing, venting, etc. (300sf, 30lf cabinets)•Install grab bars at toilet (1ea).	\$ 31,607
B001-City Hall	Heating piping/insulation group	Heating piping/insulation group 1	Replace damaged insulation on all heating pipes and install insulation on uninsulated heating pipes.	\$ 32,438
B030-Elliot Street Yard Garage	Sprinkler group	Sprinkler group 1	Reconnect disconnected sprinkler pipe serving office space.	\$ 32,508
Fire Station #1	Stairs		Make minor repairs to stairs (45r).	\$ 33,209
Public Buildings	Building Envelope		Repair damaged metal siding and repaint. •Remove and replace entry pad at front overhead door and add bollards to protect door jambs.	\$ 33,608
B011 - Newton Corner Library	Dom. water piping/insulation group	Dom. water piping/insulation group 1	Reroute cold water piping with proper supports and and insulate hot and cold water piping.	\$ 34,379

B007-Fire Station #2, West Newton	Other element group	Rear Door Entry Ramp	Install 3x3 entry pads at rear doors(3ea).	\$ 34,937
B029-Crafts Street Garage	Wiring group	Wiring group 1	Coordinate a cable tray design with IT Department to support main trunk of cabling for TER to TR closets.	\$ 35,877
B021-Crystal Lake Bathhouse	Dom. water piping/insulation group	Dom. water piping/insulation group 1	Provide pipe insulation for hot and cold water piping.	\$ 36,069
B019 - Nonantum Library	Dom. water piping/insulation group	Dom. water piping/insulation group 1	Provide insulation for all domestic hot and cold water piping.	\$ 40,182
B013 - Kennard Estate	Conduit group	Conduit group 1	Tie back flexible conduit to meet electrical codes and replace rigid conduit.	\$ 41,364
B031-Emmerson Community Center	Int. Door group	Int. Door group 1	Repair as required and add panic hardware to single hung doors (50%=10ea) and pairs of doors (50%=4ea).	\$ 47,492
B022-Pelligrini Park Field House	Dom. water piping/insulation group	Dom. water piping/insulation group 1	Install insulation on hot and cold water piping.	\$ 47,904
Newton Free Library		Building Envelope	Clean and stain cedar roof soffit at 2nd floor level (6,000 sf) to match existing stain color.Replace (1) single door w/ frame at loading dock. •Replace (1) double hung door w/ frame at loading dock.	\$ 51,728
Elliot Street Salt Shed	Structural	Walls	Repair/replace rotted and broken structural wall and roof supports	\$ 52,500
Police Headquarters		electrical upgrades	Coordinate a cable tray design with IT Department to support main trunk of cabling for	\$ 61,214
Burr Park Field house	interior finishes		Clean up and dispose of all old junk in the basement (1600sf). Repair cracks in foundation wall (1800sf). Remove terra cotta basement	\$ 63,327

Grand Total

\$ 2,196,892