



Setti D. Warren
Mayor

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James Freas
Acting Director

PUBLIC HEARING/WORKING SESSION MEMORANDUM

DATE: November 27, 2015
MEETING DATE: December 1, 2015
TO: Land Use Committee of the Board of Aldermen
FROM: James Freas, Acting Director of Planning and Development
Alexandra Ananth, Chief Planner for Current Planning
Stephen Pantalone, Senior Planner
CC: Petitioner

In response to questions raised at the Land Use Committee public hearing, and/or staff technical reviews, the Planning Department is providing the following information for the upcoming public hearing/working session. This information is supplemental to staff analysis previously provided at the public hearing.

PETITION #231-15

5-7 & 9-11 Carthay Circle

Request for Special Permit/Site Plan Approval to extend a nonconforming use in order to construct two new two-family dwellings on two separate lots.

The Land Use Committee (the "Committee") held a public hearing on October 13, 2015, which was held open so that the petitioner could respond to questions/concerns that were raised in the Planning Department's memorandum and at the public hearing by the Committee and the public. This memo reflects additional information submitted by the petitioner and additional analysis completed by the Planning Department.

Community Meeting

The petitioner held a community meeting on November 23, 2015 to discuss the project with neighbors and the Ward Aldermen. Based on staff's conversation with the Ward Alderman, two residents on Carthay Circle, two residents on Walnut Street and all three Aldermen attended the meeting. The petitioner also spoke with another resident on Carthay Circle that could not attend the meeting. Overall, the feedback on the project was generally positive.

Modifications to the Site Plan/Architectural Drawings

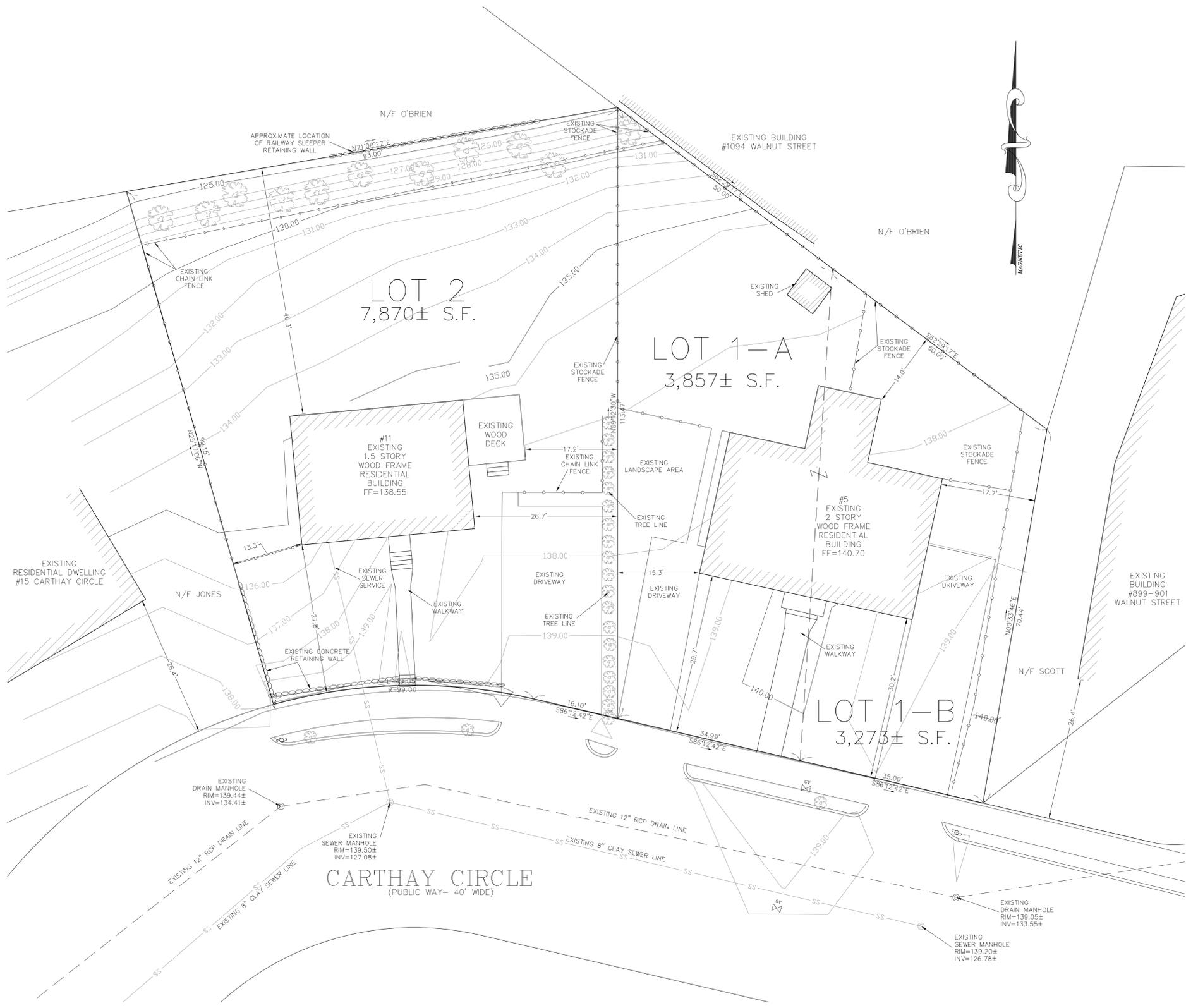
The petitioner submitted revised plans based on the comments from the community meeting and the Planning Department, which lowers the building height by approximately two feet and provides additional architectural details on the exterior facades. The revised plans also show the proposed infiltration systems. The Planning Department believes that the reduction in the building height and modifications are improvements to the mass of the proposed building.

Additional Information Required

The petitioner should submit a site plan showing the second (outdoor) parking stall for each of the units to ensure that there is adequate maneuvering aisle width. The Planning Department has also requested the calculation of the average grade plane several times but has not received the calculation as of the date of this memo. The average grade plane calculation will confirm that the lowest story is considered a basement for purposes of zoning.

ATTACHMENTS:

Attachment A: Revised Plans



ZONING LEGEND #5-7

ZONING DISTRICT: BU2 (BUSINESS 2)

	REQUIRED	EXISTING	COMPLIANCE
MIN. AREA	10,000 S.F.	7,130± S.F.	EXISTING NON-COMFORMING
MIN. YARD FRONT	10'	29.7'	YES
SIDE	15'	15.3'	EXISTING NON-COMFORMING
REAR	15'	14.0'	EXISTING NON-COMFORMING
MAX. BLDG. HEIGHT	24'	23'±	YES
MAX. STORIES	2	2	YES
GROSS FLOOR AREA/ SITE PLAN APPROVAL	10,000-19,999 S.F.	XX	YES

ZONING LEGEND #9-11

ZONING DISTRICT: BU2 (BUSINESS 2)

	REQUIRED	EXISTING	COMPLIANCE
MIN. AREA	10,000 S.F.	7,870± S.F.	EXISTING NON-COMFORMING
MIN. YARD FRONT	20'	27.8'	YES
SIDE	20'	13.3'	EXISTING NON-COMFORMING
REAR	15'	46.3'	YES
MAX. BLDG. HEIGHT	24'	19'±	YES
MAX. STORIES	2	1.5	YES
GROSS FLOOR AREA/ SITE PLAN APPROVAL	10,000-19,999 S.F.	XX	YES

-ZONING INFORMATION FOR PROPOSED CONDITIONS TO BE VERIFIED BY ARCHITECT-
 (ALL ZONING INFORMATION WAS OBTAINED FROM THE CITY OF NEWTON ZONING CODE, SECTION 30-15, TABLE 3 AND ANY FOOTNOTES APPLICABLE TO SAID TABLE.)

*(Footnote 1) Avg.: The setback on any lot shall be the average of the setbacks of the building nearest thereto on either side. A vacant lot or a lot where a building is set back more than ten (10) feet shall be counted as though occupied by a building set back ten (10) feet.

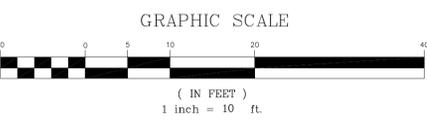
** (Footnote 2) 1/2 Bldg. ht.: One-Half the building height or a distance equal to the side yard setback of the abutting property at any given side yard except, when abutting a residential zone, the setback shall be 1/2 the building height or fifteen feet, whichever is greater.

*** (Footnote 3): When abutting a residential or public use zone, the rear setback in the Business 1-4 Districts shall be 1/2 building height or 15 feet, whichever is greater.

**** (Footnote 10): Except when abutting a residential district, the setback shall be 1/2 the building height or 20 feet, whichever is greater.

EXISTING LEGEND

SS	SEWER LINE
⊙	SEWER MANHOLE
-w-	WATER LINE
====	DRAIN LINE
⊕	UTILITY POLE
⊗	GAS VALVE
OHE	OVERHEAD ELECTRIC SERVICE
⊗	WATER VALVE
□	CATCH BASIN
○	FENCE
225	CONTOUR LINE (MJR)
226	CONTOUR LINE (MNR)
⊙	SPOT GRADE
⊙	DRAIN MANHOLE
⊗	HYDRANT
⊗	TREE
VCC	VERTICAL GRANITE CURB



- NOTES:
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES L.L.C AS OF 08-13-14.
 2. DEED REFERENCE BOOK 13,068, PAGE 370 AND BOOK 62,711, PAGE 197 NORFOLK COUNTY REGISTRY OF DEEDS.
 3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
 4. ELEVATIONS SHOWN ARE CITY OF NEWTON DATUM.

SCALE 1"=10'

DATE 08/31/15

SHEET 1

PLAN NO. 1 OF 1

CLIENT:

REV DATE REVISION BY

5-7 & 9-11 CARTHAY CIRCLE
 NEWTON MASSACHUSETTS
 SITE PLAN OF LAND

DRAWN BY CEF

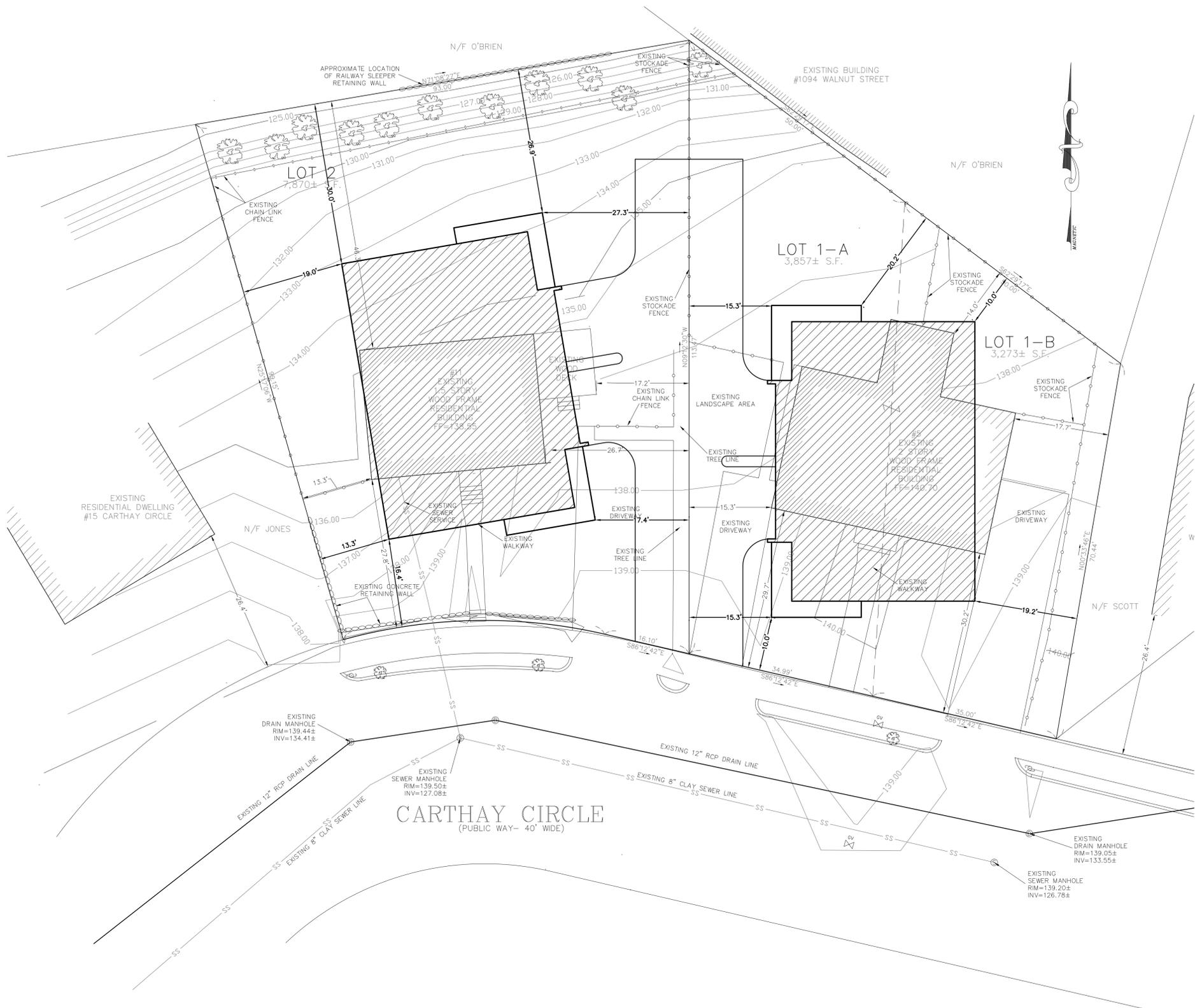
CHKD BY CEF

APPD BY CEF

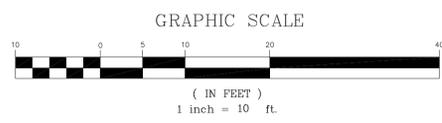
CF ENGINEERING
 CIVIL ENGINEERING CONSULTANTS
 142 FISHER STREET - WESTBOROUGH MA 01581
 PHONE: 508-331-7661 FAX: 508 302-6141



SHEET NO. 1

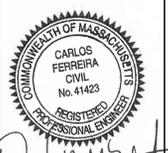


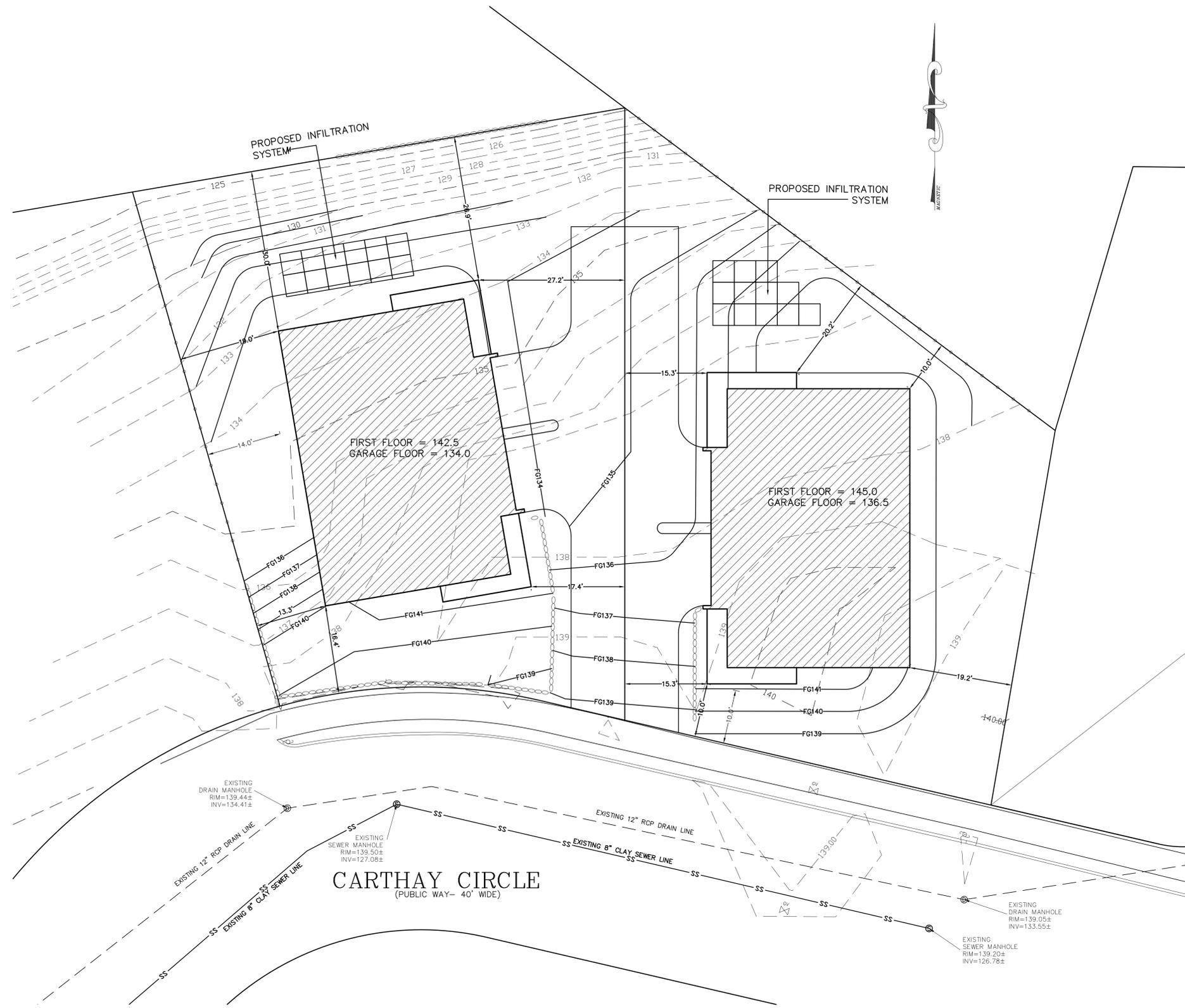
EXISTING LEGEND	
SS	SEWER LINE
⊙	SEWER MANHOLE
W	WATER LINE
---	DRAIN LINE
⊙	UTILITY POLE
⊗	GAS VALVE
—O—	OVERHEAD ELECTRIC SERVICE
⊗	WATER VALVE
□	CATCH BASIN
○	FENCE
225	CONTOUR LINE (MJR)
226	CONTOUR LINE (MNR)
x	SPOT GRADE
⊙	DRAIN MANHOLE
⊗	HYDRANT
⊗	TREE
VCC	VERTICAL GRANITE CURB



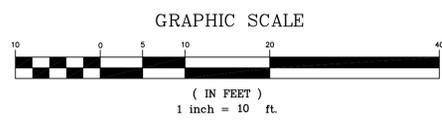
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SCALE 1"=10'			
DATE 08/31/15	REV	DATE	REVISION
SHEET 1			BY <i>[Signature]</i>
PLAN NO. 1 OF 1	5-7 & 9-11 CARTHAY CIRCLE NEWTON MASSACHUSETTS SITE PLAN OF LAND		
CLIENT:	CF ENGINEERING CIVIL ENGINEERING CONSULTANTS 142 FISHER STREET - WESTBOROUGH MA 01581 PHONE: 508-331-7661 FAX: 508 302-6141		
DRAWN BY CEF	SHEET NO. 2		
CHKD BY CEF			
APPD BY CEF			





EXISTING LEGEND	
SS	SEWER LINE
⊙	SEWER MANHOLE
W	WATER LINE
---	DRAIN LINE
⊙	UTILITY POLE
⊙	GAS VALVE
⊙	OVERHEAD ELECTRIC SERVICE
⊙	WATER VALVE (MJR)
⊙	CATCH BASIN (MNR)
⊙	SPOT GRADE
⊙	DRAIN MANHOLE
⊙	HYDRANT
⊙	TREE
VGC	VERTICAL GRANITE CURB

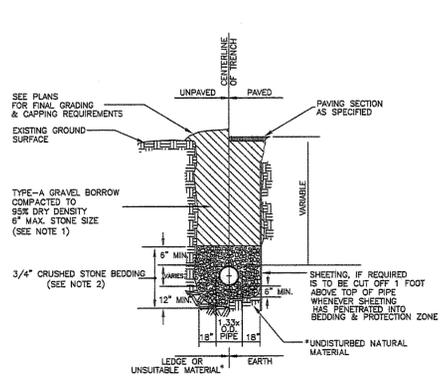


- NOTES:
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 2. DEED REFERENCE BOOK 13,068, PAGE 370 AND BOOK 62,711, PAGE 197 NORFOLK COUNTY REGISTRY OF DEEDS.
 3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
 4. ELEVATIONS SHOWN ARE CITY OF NEWTON DATUM.

SCALE	1"=10'
DATE	8/31/15
SHEET	3
PLAN NO.	1 OF 3
CLIENT:	5-11 CARTHAY CIRCLE NEWTON MASSACHUSETTS SITE PLAN OF LAND
DRAWN BY	CEF
CHKD BY	CEF
APPD BY	CEF
CF ENGINEERING CIVIL ENGINEERING CONSULTANTS 142 FISHER STREET - WESTBOROUGH MA 01581 PHONE: 508-331-7661 FAX: 508 302-6141	

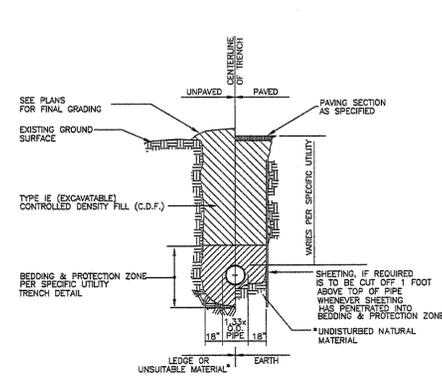
BY *Carlos Ferreira*

SHEET NO.
3



- * SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.
- 1. GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0
- 2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1

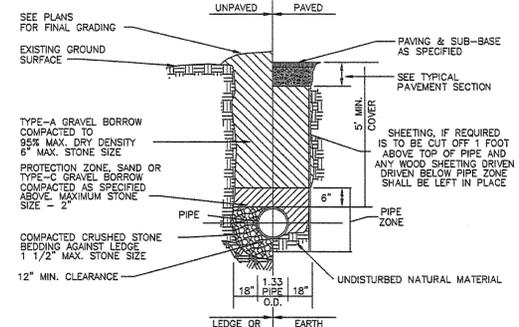
GRAVITY SEWER TRENCH DETAIL
NOT TO SCALE



* SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.

TYPICAL C.D.F. SEWER TRENCH DETAIL
NOT TO SCALE

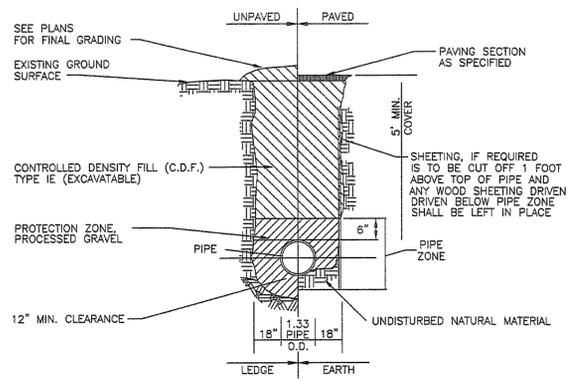
PROCESSED GRAVEL SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.7



TYPICAL WATER TRENCH DETAIL
NOT TO SCALE

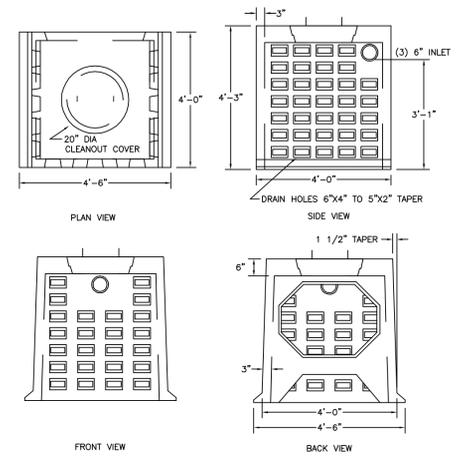
- 1. GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0
- 2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1

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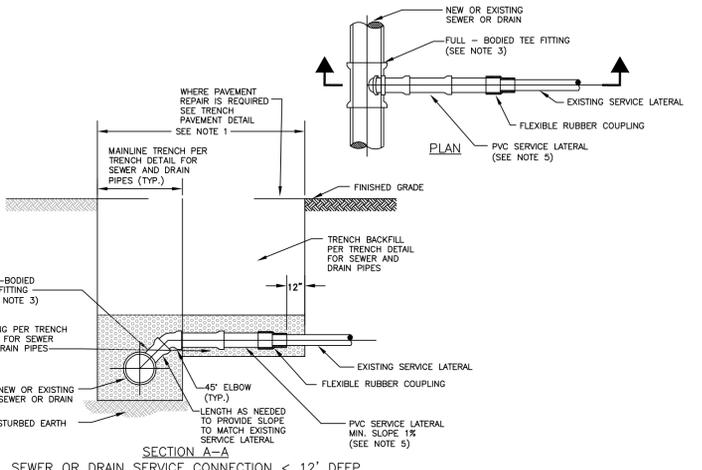
TYPICAL C.D.F. WATER TRENCH DETAIL
NOT TO SCALE

PROCESSED GRAVEL SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.7



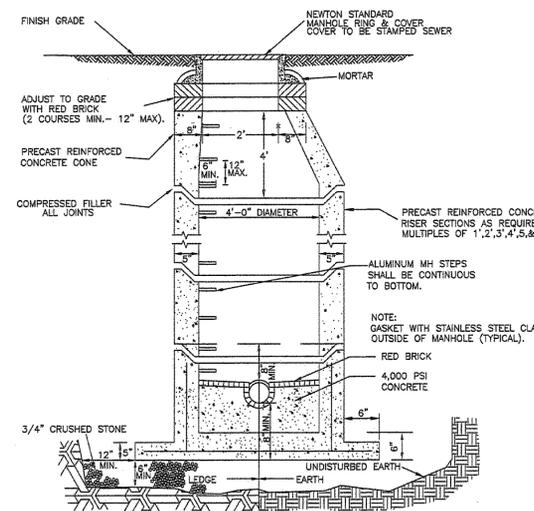
- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGNED FOR H-20 LOADING.
 3. GALLEY AVAILABLE IN BOTH END AND CENTER SECTIONS. CENTER SECTIONS HAVE LARGE OPENING IN BOTH THE BACK AND FRONT SIDES.

TYPICAL INFILTRATION SYSTEM
NOT TO SCALE

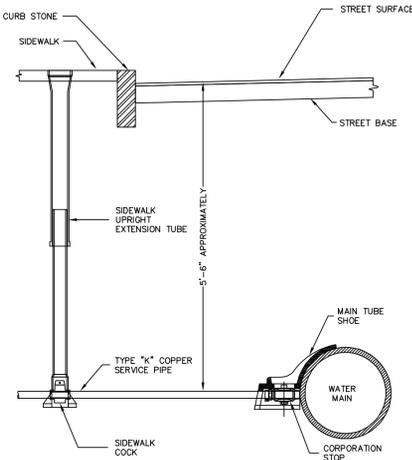


- NOTES:
1. REPLACE EXISTING SERVICE LATERAL TO EXTENT REQUIRED.
 2. EXCAVATE AND REMOVE EXISTING LATERAL AS REQUIRED TO ALLOW RECONSTRUCTION.
 3. FOR SEWER AND DRAIN SERVICE CONNECTIONS TO MAINLINE 18\"/>

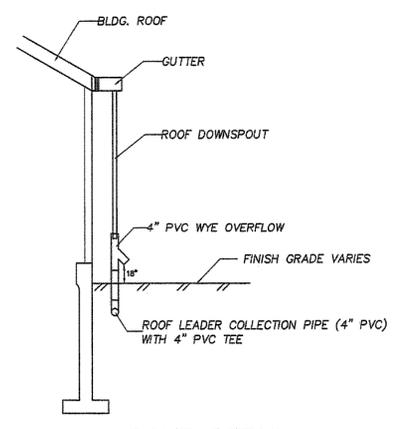
INSERT-A-TEE CONNECTION
NOT TO SCALE



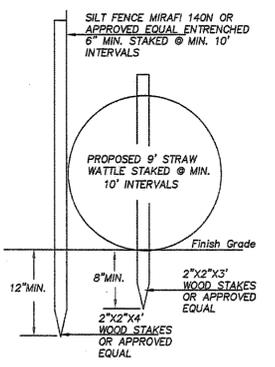
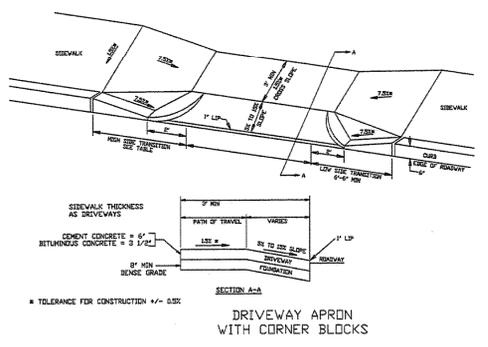
TYPICAL PRECAST CONCRETE SEWER MANHOLE
(NOT TO SCALE)



TYPICAL WATER CONNECTION FOR 3/4\"/>



DOWNSPOUT DETAIL
NTS



STRAW WATTLE & SILT FENCE DETAIL

SEWER SERVICE LINES CLEANOUT & FITTINGS
NOT TO SCALE

DATE: _____

No.	Date	Description

Prepared for:
CARTHAY INVESTMENT LLC
823 NEWTON STREET
BROOKLINE, MA 02467

Property of:
CARTHAY INVESTMENT LLC
823 NEWTON STREET
BROOKLINE, MA 02467

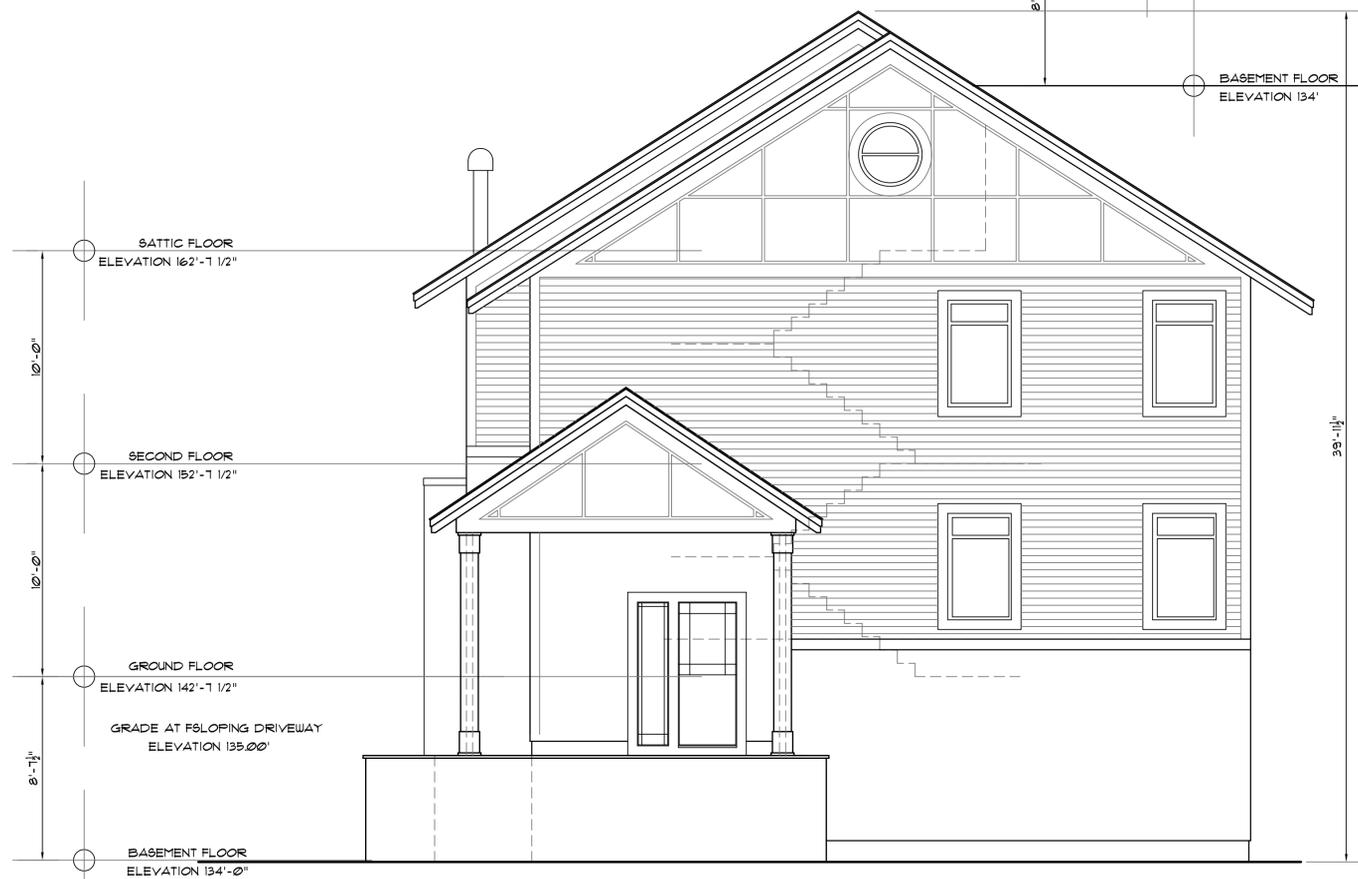
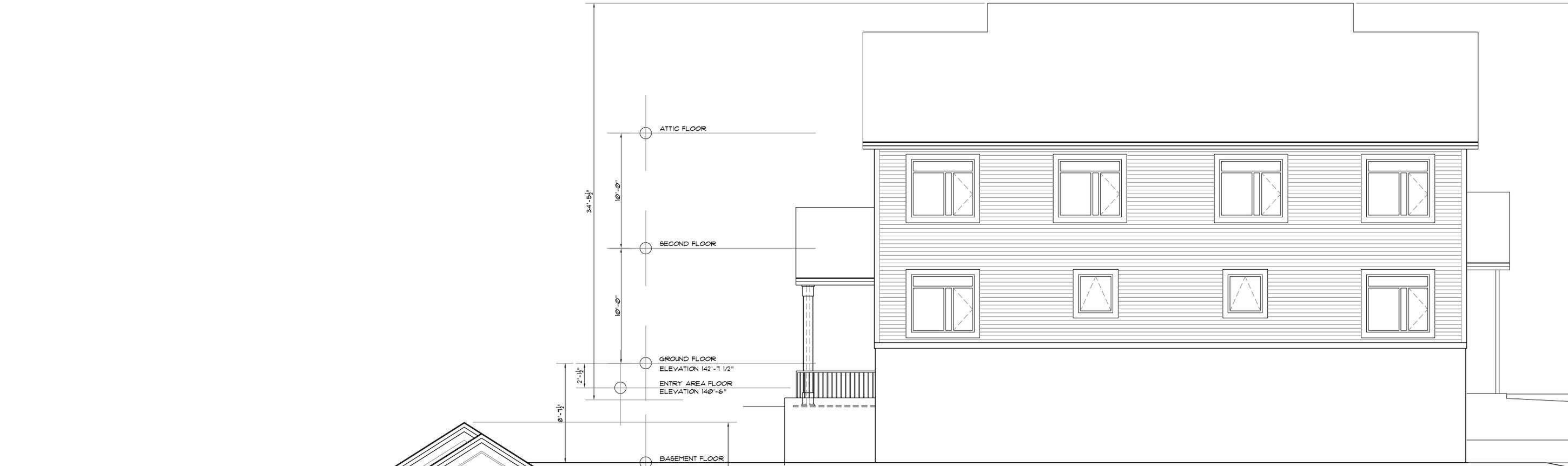
Prepared By:
CARLOS FERREIRA P.E.
142 FISHER STREET
WESTBOROUGH, MA 01581
Phone: (508) 331-7261

Carlos E. Ferreira P.E. #41.423
Date: _____

Project Title
5-11 CARTHAY CIRCLE SITE PLAN

Sheet Title
DETAIL SHEET

SCALE	1"=10'
DRAWN	CEF
CHECKED	CEF
FILE NAME	CARTHAY.DWG
PROJECT	CARTHAY CIRCLE
ISSUE DATE	NOVEMBER 15, 2015
JOB NO.	CARTHAY CIRCLE



REAR ELEVATION

1
A2.1

1/4" = 1'-0"

SIDE ELEVATION

2
A2.1

1/4" = 1'-0"

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CARTHAY CIRCLE RESIDENCES
5-7 CARTHAY CIRCLE
NEWTON, MA

- 1 18 SEPTEMBER 2015
- 2 22 SEPTEMBER 2015
- 3 1 OCTOBER 2015
- 4 24 November 2015

NUNES • TRABUCCO • ARCHITECTS
109 Highland Avenue
781-455-9980
Needham, Massachusetts 02492
fax 781-444-6219

TITLE
EXTERIOR
ELEVATIONS

DRWN BY	NTA
CHKD BY	NTA
DATE	31/AUG./2015
SCALE	AS NOTED
PROJECT NO.	0000

A2.1



2
A2.0
SIDE ELEVATION

1/4" = 1'-0"

1
A2.0
FRONT ELEVATION

1/4" = 1'-0"

- 1 18 SEPTEMBER 2015
- 2 22 SEPTEMBER 2015
- 3 1 OCTOBER 2015
- 4 24 NOVEMBER 2015

NUNES • TRABUCCO • ARCHITECTS
109 Highland Avenue
781-455-9980
Needham, Massachusetts 02492
fax 781-444-6219

TITLE

EXTERIOR ELEVATIONS

DRWN BY NTA
CHKD BY NTA
DATE: 31/AUG./2015
SCALE: AS NOTED
PROJECT NO: 0000

A2.0

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CARTHAY CIRCLE RESIDENCES
5-7 CARTHAY CIRCLE
NEWTON, MA