



COMMISSION ON DISABILITY

Packet Contents: November 18, 2013

Item	Page
Agenda, 11-18-13	2
321 Chestnut St. Amended Decision MAAB	4
CDBG Report	6
35 Webster St. Decision of Board MAAB	8
35 Webster St. MAAB Variance Application	11
35 Webster St. Plans and Photos	22
Letter, COD to Bill Paille, re: Newton Centre	49
Letter, COD to Mayor Warren re: HP Funds	50
Self-Evaluation Draft Timeline	51
Conference Call w/ Michael Muehe	54

Setti D. Warren
Mayor

Candace Havens
**Director, Planning &
Development**

John Lojek (member)
**Department Head,
Inspectional Services**

Members

Rob Caruso, Co-Chair
Girard Plante, Co-Chair
Jane Brown
Lucie Chansky
Jini Fairley
Rosemary Larking
John Lojek
Barbara Lischinsky

Advisors

Sergeant Jay Babcock
Newton Police Department

Alice Walkup
Senior Planner,
Community Development

Staff

Joel Reider
ADA/Sec 504 Coordinator

1000 Commonwealth Ave.
Newton, MA 02459
T 617/796-1120
F 617/796-1142

www.newtonma.gov



CITY OF NEWTON, MASSACHUSETTS

Commission On Disability

Meeting Agenda

Date: November 18, 2013

Time: 6:30 p.m.

Place: Room 222

Setti D. Warren
Mayor

Candace Havens
**Director, Planning &
Development**

John Lojek (member)
**Department Head,
Inspectional Services**

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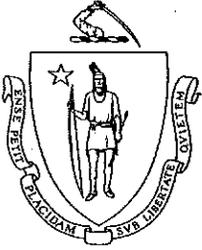
1. **Minutes:** Consideration of the approval of the minutes from the October 21, 2013 meeting of the Commission on Disability (6:30-6:35)
2. **ADA Coordinator report** – Joel Reider (6:35-6:40)
3. **CDBG report** – Alice Walkup (6:40-6:50)
4. **35 Webster St:** review MAAB variances application – Phi Hong, DLA Architecture (6:50-7:05)
5. **Newton Centre Pedestrian Safety** – Bill Paille (7:05-7:25)
6. **HP violation report and account** – Sgt. Babcock (7:25-7:35)
7. **Allocation of HP Funds to COD account** (7:35-7:40)
8. **Nominate COD Co-chairs** (7:40-7:50)
9. **Transition Plan:** COD reps to meet w/ Joel to review inventory of City facilities/programs; Review Michael Muehe's overview (7:50-8:10)
10. **Plan Annual Holiday meeting, December 9th** – (8:10-8:20)
11. **Old/New Business** (8:20-8:25)

Adjournment (8:25)

CITY OF NEWTON, MASSACHUSETTS
Commission On Disability

Next meeting: December 9, 2013

The location of this meeting is handicap accessible and reasonable accommodations will be provided to persons requiring assistance. If you have a special accommodation need, contact the Newton ADA Coordinator, Joel Reider, at least two days in advance of the meeting: jreider@newtonma.gov or (617) 796-1145. For Telecommunications Relay Service, dial 711.



Deval L. Patrick
Governor

Andrea J. Cabral
Secretary

The Commonwealth of Massachusetts
Department of Public Safety

Architectural Access Board
One Ashburton Place, Room 1310
Boston, Massachusetts 02108-1618

Phone 617-727-0660

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www.mass.gov/dps

Thomas G. Gatzunis, P.E.
Commissioner

Thomas P. Hopkins
Director

November 8, 2013

Paulette Bowes
Artistic & Executive Director
All Newton Music School
321 Chestnut Street
West Newton, MA 02465-2904

Re: Notice of Amended Decision of the Board; All Newton Music School, 321 Chestnut Street, West Newton; Docket Number V11-138

Dear Ms. Bowes,

On October 11, 2013 the Architectural Access Board ("Board") received your e-mail to Kate Sutton, Program Coordinator for the Board, in response to Ms. Sutton's e-mail to you in an effort to determine the status of the work that was required in the Board's July 1, 2013 amended decision. That decision allowed until *August 30, 2013* for the following items to be completed: installation of second floor accessible toilet room (Item 4); installation of second floor extension door hinges (Item 3); and the power openers at the front entrance of the building (Item 5). All of the remaining work, outlined in the January 2013 submittal was required to be completed and verified as such no later than *February 1, 2014*.

Your most recent e-mail requested that the date for the completion of the work previously required to be done by February 1, 2014, be granted an extension of one year to February 1, 2015. Your e-mail also stated that the hinges for the second floor and the electric push openers were on order and would be installed within a couple of weeks. The work on the second floor bathroom has been completed and was verified as such by the submittal of pictures attached to your October 11, 2013 e-mail.

The Board reviewed your submittal during an administrative discussion at their regularly scheduled October 21st and November 4, 2013 meeting and voted as follows:

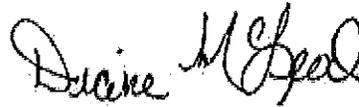
- GRANT an extension to the installation of the LULA, and all other remaining items noted in the January 2013 submittal, allowing until *January 1, 2015* for the completion of the remaining required work; at which time the Board shall receive confirmation of installation, inspection and that the lift is in working order, along with photographic evidence of all other outstanding work per the January 2013 list. The Board also required that a status report, to include a contract and copy of the deposit check for the equipment, be received by the Board no later than *February 1, 2014*.
- GRANT an extension to the installation of the second floor extension door hinges (Item 3) and the power openers at the front entrance of the building (Item 5), to allow until *December 1, 2013* for these items to be installed and verified as such.

ARCHITECTURAL ACCESS BOARD

By:



Walter White, Chair



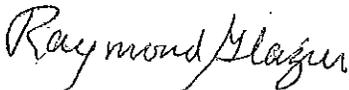
Diane McLeod, Vice Chair (not present for 11/4/13 discussion)



Andrew Bedar, Member



Jeffrey Dougan, Massachusetts Office on Disability Designee (not present for 11/4/13 discussion)



Raymond Glazier, Executive Office of Elder Affairs Designee



Gerald LeBlanc, Member (not present for 11/4/13 discussion)



Carol Steinberg, Member



D. Mark Trivett, Member

A complete administrative record is on file at the office of the Architectural Access Board.

cc: Local Building Inspector
Local Disability Commission
Independent Living Center

Audible Pedestrian Signals (Project CD13-03R. Budget: \$6,609.25; Expended: \$0; Balance: \$6,609.25). No update.

Education Center – Accessible Building Directory Sign (Project CD14-03U. Budget: \$4,050; Expended: \$0; Balance: \$4,050). No update.

Curb Cuts

FY14 Curb Cut Funds \$83,791*

***Total does not include the balance of projects that will come in under budget.**

<u>Current Projects</u>	<u>Total Budget</u>	<u>Expended</u>	<u>Remaining</u>
Commonwealth & Washington	\$83,170.60	\$61,510.05	\$21,660.55
Pearl & Jackson	\$42,669.00	\$11,033.46	\$31,635.54
Newton Centre	\$103,000.00	\$80,214.79	\$22,785.21

<u>Upcoming Projects</u>	<u>Total Budget</u>
Washington & Walnut	\$75,000.00
Lincoln & Walnut	\$75,000.00

Commonwealth & Washington – The APS units have been moved closer to the new curb cuts on the Fire Station corner. The unit to cross Washington St. is not on the curb cut side of the pole, but will be fixed at no charge to us. Depending upon weather, the restriping may occur on Friday, Nov. 15th.

Pearl & Jackson – Restriping will be completed in the spring.

Newton Centre – The Newton Centre curb cut extension phase of the project is complete. Four new lights have been installed. Three are functioning, with the fourth to have additional work completed by NSTAR before it is operational. Five additional lights have been ordered and delivered, and should be installed and functional by December.

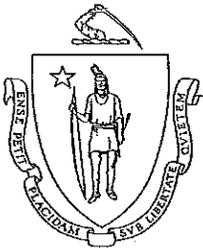
Historic Newton/The Jackson Homestead – Archives Preservation and Access (CD11-03F. Budget: \$40,000, Expended: \$0, Balance: \$40,000). No update.

Newton Centre Playground Pathway Phase IV - (CD13-03M. Budget \$40,000, Expended: \$0, Balance: \$40,000).

Newton Centre Playground Pathway Phase V - (CD14-03V. Budget \$45,000, Expended: \$0, Balance: \$45,000). **The Design Engineer is currently working on both Phase path designs, and we should have those to share at the November meeting.**

Retrofitting Curb Cuts (Project CD13-03Q. Budget: \$4,548.82, Expended: \$0, Balance: \$4,548.82). No update.

War Memorial Vertical and Acoustical Access Feasibility and Design – (CD13-03S. Budget \$80,000, Expended: \$44,354 Balance: \$35,646). **The Public Buildings Department is completing its application for Community Preservation funds, due Nov. 15, to pay for the construction documents and the installation of the elevator and acoustical elements. The draft letter of support for the project will be presented to the Commission at the December meeting, after the application has been submitted to the Community Preservation Committee and the Commission has had an opportunity to review it.**



The Commonwealth of Massachusetts

Department of Public Safety

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TO: Local Building Inspector
Local Disability Commission
Independent Living Center

Docket Number V 13 219

FROM: ARCHITECTURAL ACCESS BOARD

RE: Nathaniel Allen House
35 Webster Street
Newton

Date: 9/12/2013

Enclosed please find the following material regarding the above location:

Application for Variance

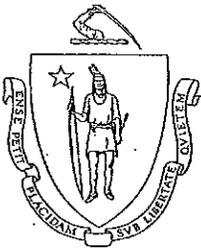
Decision of the Board *w/conditions*

Notice of Hearing

Correspondence

Letter of Meeting

The purpose of this memo is to advise you of action taken or to be taken by this Board. If you have any information which may assist the Board in reaching a decision in this case, you may call this office or you may submit comments in writing.



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Docket Number V 13 219

NOTICE OF ACTION

RE: Nathaniel Allen House, 35 Webster Street

Newton

1. A request for a variance was filed with the Board by Thomas Concannon, (Applicant) on July 26, 2013
The applicant has requested variances from the following sections of the 06 Rules and Regulations of the Board:

Section:	Description:
20.1	Accessible route - House (time variance)
25.1	Entrances
30.1	Public Toilet Rooms
27.1	Stairs

2. The application was heard by the Board as an incoming case on Monday, September 9, 2013

3. After reviewing all materials submitted to the Board, the Board voted as follows:

GRANT: the phase one plan on the condition that the first floor is accessible and a compliant toilet room is provided prior to opening the building for public use. In addition, the Board voted to allow the use of the second floor on the condition that an accommodation plan is in place ensuring that any services offered on the second floor are available on the first floor and that in phase 2 of the project a full service, EMT compliant 5 stop elevator is installed as stated serving 24 of the 27 spaces proposed for public use. The Board voted to schedule a hearing on the phase two (2) portion of the project for those items that are triggered by 521 CMR Section 3.3.2. Your hearing Notice is enclosed.

Photographs of the 1st floor accessible entrance and toilet room are required for the Boards files upon completion of the work.

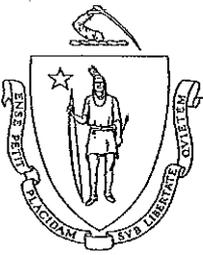
PLEASE NOTE: All documentation (written and visual) verifying that the conditions of the variance have been met must be submitted to the AAB Office as soon as the required work is completed.

Any person aggrieved by the above decision may request an adjudicatory hearing before the Board within 30 days of receipt of this decision by filing the attached request for an adjudicatory hearing. If after 30 days, a request for an adjudicatory hearing is not received, the above decision becomes a final decision and the appeal process is through Superior Court.

Date: September 12, 2013

cc: Local Disability Commission
Local Building Inspector
Independent Living Center

Walter White T.H.
Chairperson
ARCHITECTURAL ACCESS BOARD



The Commonwealth of Massachusetts

Department of Public Safety

*Architectural Access Board
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Secretary

Thomas G. Gatzunis, P.E.
Commissioner

Thomas P. Hopkins
Director

VARIANCE HEARING

RE: Nathaniel Allen House , 35 Webster Street, Newton

You are hereby notified that an informal adjudicatory hearing before the Architectural Access Board has been scheduled for you to appear on Monday, **January 6, 2014** at **11:00 a.m.** at One Ashburton Place, 21st Floor, Boston, MA 02108.

This hearing is upon an application for variance filed by: Thomas Concannon, for modification of or substitution of the following Rules and Regulations: 20.1, 25.1, 26.1, 27.1, and 30.1
A copy of the request is available for public inspection during regular business hours.

You should be aware that the burden of proof is upon the applicant requesting a variance to prove that compliance is either: 1. technologically infeasible or; 2. the cost of compliance is excessive without substantial benefit to a person with a disability.

This hearing will be conducted in accordance with the procedures set forth in M.G.L., c. 30A, and 801 CMR 1.02, the Informal/Fair Hearings Rules. At the hearing, each party may be represented by counsel, may present evidence and may cross examine opposing witnesses.

Also, please note that all attendees will be asked to turn off all cell phones and pagers while the Board is in session.

ARCHITECTURAL ACCESS BOARD

Date: September 12, 2013

Walter White T.H.

Chairperson

cc: Local Building Inspector
Independent Living Center
Local Disability Commission

The Commonwealth of Massachusetts
Department of Public Safety
Architectural Access Board
One Ashburton Place, Room 1310
Boston Massachusetts 02108-1618
Phone: 617-727-0660
Fax: 617-727-0665
www.mass.gov/dps

Docket Number

(Office Use Only)

APPLICATION FOR VARIANCE

In accordance with M.G.L., c.22, § 13A, I hereby apply for modification of or substitution for the rules and regulations of the Architectural Access Board as they apply to the building/facility described below on the grounds that literal compliance with the Board's regulations is impracticable in my case.

PLEASE ENCLOSE:

1) A filing fee of \$50.00 (Check/Money Order) made payable to the "Commonwealth of Massachusetts" and all supporting documentation (e.g. plans in 11" x 17" format, photographs, etc.). In addition, the complete package (including plans and photographs) must be submitted via one compact disc.

2) If you are a tenant seeking variance(s), a letter from the owner of the building authorizing you to apply on his or her behalf is required.

3) The completed "Service Notice" form provided at the end of this application certifying that a copy of your complete application has been received by the Local Building Inspector, Local Disability Commission (if applicable), and Local Independent Living Center for the city/town that the property in question resides in. A list of the local entities can be found by calling the Architectural Access Board Office or the Local City/Town Clerk. For a list of the Local Independent Living Centers you can either call the Architectural Access Board Office or visit the Massachusetts Statewide Independent Living Council website at <http://www.masilc.org/membership/cils>.

1. State the name and address of the owner of the building/facility:
Newton Cultural Alliance, Inc., 1301 Centre Street, Newton, MA 02459
2. State the name and address of the building/facility:
Nathaniel Allen House, 35 Webster Street, Newton, MA 02465
3. Describe the facility (i.e. number of floors, type of functions, use, etc.):

The building is a three story 1840's wood framed house, attached servant's quarters and barn formerly used as seven residential apartments and publically accessed historical archives

4. Total square footage of the building: **17,521.48 S.F. (including basement)**
Per floor: **4380.37 S.F.**
a. total square footage of tenant space (if applicable): **13,500 SF above basement**

5. Check the work performed or to be performed:
 New Construction Addition
 Reconstruction/Remodeling/Alteration Change of Use

6. Briefly describe the extent and nature of the work performed or to be performed (use additional sheets if necessary):

Phase One- Allow partial occupancy of the building as non-profit educational use, keeping one apartment, provide accessible parking, entrance and toilet room.
Phase Two- Allow full occupancy of the entire building as a non-profit cultural and educational center, construct accessible entrances, install elevator, renovate interior spaces, make structural repairs and restore building exterior.

7. State each section of the Architectural Access Board's Regulations for which a variance is being requested:

7a. Check appropriate regulations:
 1996 Regulations 2002 Regulations 2006 Regulations

SECTION NUMBER LOCATION OR DESCRIPTION

- 1.) 20.0 Accessible Route- house (time variance)
- 2.) 25.1 Entrances
- 3.) 20.0 Accessible Route- barn
- 4.) 30.0 Public Toilet Rooms
- 5.) 27.0 Stairs
- 6.) 26.0 Doors

8. Is the building historically significant? yes no.
If no, go to number 9.

8a. If yes, check one of the following and indicate date of listing:
 National Historic Landmark
 Listed individually on the National Register of Historic Places
 Located in registered historic district (Newton Landmark)
 Listed in the State Register of Historic Places

Eligible for listing

8b. If you checked any of the above and your variance request is based upon the historical significance of the building, you must provide a letter of determination from the Massachusetts Historical Commission, 220 Morrissey Boulevard, Boston, MA 02125.

9. For each variance requested, state in detail the reasons why compliance with the Board's regulations is impracticable (use additional sheets if necessary), including but not limited to: the necessary cost of the work required to achieve compliance with the regulations (i.e. written cost estimates); and plans justifying the cost of compliance.

10. Has a building permit been applied for? **No**

Has a building permit been issued?

10a. If a building permit has been issued, what date was it issued?

10b. If work has been completed, state the date the building permit was issued for said work: _____

11. State the estimated cost of construction as stated on the above building permit:

11a. If a building permit has not been issued, state the anticipated construction cost:

Phase One- \$100,000 and Phase Two- \$3,000,000

12. Have any other building permits been issued within the past 36 months? **No**

12a. If yes, state the dates that permits were issued and the estimated cost of construction for each permit:

13. Has a certificate of occupancy been issued for the facility? **No**

If yes, state the date: _____

14. To the best of your knowledge, has a complaint ever been filed on this building relative to accessibility? _____ yes ___X___ no

15. State the actual assessed valuation of the BUILDING ONLY, as recorded in the Assessor's Office of the municipality in which the building is located: **\$761,500**

Is the assessment at 100%? **Yes**

If not, what is the town's current assessment ratio? _____

16. State the phase of design or construction of the facility as of the date of this application:
Schematic Design is completed

17. State the name and address of the architectural or engineering firm, including the name of the individual architect or engineer responsible for preparing drawings of the facility:

DLA Architecture, 1643 Beacon Street, Suite 22, Waban MA 02468;

Donald Lang AIA, Principal Architect (MA Reg. 4660)

E-mail: donald@dlaboston.com

Telephone: 617-969-8400

18. State the name and address of the building inspector responsible for overseeing this project:

David Norton, Inspectional Services

Newton City Hall

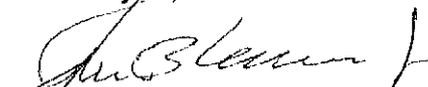
1000 Commonwealth Avenue

Newton Centre, MA 02459

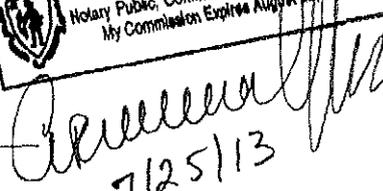
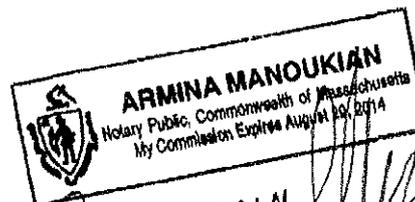
Telephone: 617-796-1078

dnorton@newtonma.gov

Date: July 25, 2013



Signature of owner or authorized agent



7/25/13

PLEASE PRINT:

Thomas Concannon, Chairman of Board

Newton Cultural Alliance, Inc.

1301 Centre Street

Newton, MA 02459

E-mail: adrienne@newphil.org 857-636-0199 mobile

ARCHITECTURAL ACCESS BOARD VARIANCE APPLICATION
SERVICE NOTICE

I, Thomas Concannon, submit a variance application filed with the Massachusetts Architectural Access Board on July 26, 2013.

HEREBY CERTIFY UNDER THE PAINS AND PENALTIES OF PERJURY THAT I SERVED OR CAUSED TO BE SERVED, A COPY OF THIS VARIANCE APPLICATION ON THE FOLLOWING PERSON(S) IN THE FOLLOWING MANNER:

NAME AND ADDRESS OF PERSON OR AGENCY SERVED

1 **David Norton, Inspectional Services**
 Newton City Hall, 1000 Commonwealth Avenue
 Newton Centre, MA 02459
 Telephone: 617-796-1078, Email: dnorton@newtonma.gov

By hand on July 25, 2013

2 **Newton Commission on Disabilities**
 Newton City Hall, 1000 Commonwealth Avenue
 Newton Centre, MA 02459
 E-mail: ada@newtonma.gov, Telephone: 617-796-1120

By hand on July 25, 2013

3 **Boston Center for Independent Living**
 Bill Henning, Executive Director, Karen Schneiderman
 60 Temple Place, Boston MA 02111

Email: bhenning@bostoncil.org, kschneiderman@bostoncil.org, Telephone: 617-338-6665

Via email on July 25, 2013 and by hand on July 25, 2013

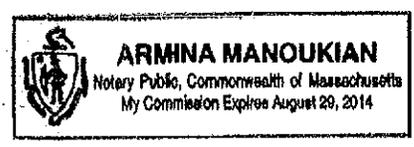
AND CERTIFY UNDER THE PAINS AND PENALTIES OF PERJURY THAT THE ABOVE STATEMENTS TO THE BEST OF MY KNOWLEDGE ARE TRUE AND ACCURATE.

Thomas Concannon
Signature: Appellant or Petitioner

On the 25th Day of July 2013, Thomas Concannon
PERSONALLY APPEARED BEFORE ME THE ABOVE NAMED

Armina Manoukian 7/25/13
NOTARY PUBLIC

MY COMMISSION EXPIRES



July 29, 2013

Nathaniel Allen House
Non-profit Community Arts and Cultural Center
35 Webster Street
West Newton, MA 02465

MAAB Variance Application Attachment for Phases One and Two of Project

Background and Phasing of the Project

The 13,500 SF Nathaniel Allen House (NAH), constructed in the 1840s, is situated on a 54,316 SF corner lot at the edge of the West Newton village center. Nathaniel Allen was an abolitionist and a friend of Horace Mann who pioneered many innovations in public education during the 19th century. He provided an educational opportunity to girls and to black children in his school which was located in the barn attached to his residence. The NAH property is listed on the National Register of Historic Places, has Newton Landmark status and both the house exterior and grounds are protected by a Preservation Restriction held by the city of Newton Historical Commission (NHC) under which any changes to the exterior of the building or the land require NHC approval.

The property was purchased by the Newton Cultural Alliance (NCA), a local non-profit community arts collaborative in 2012 in order to restore the property and convert the NAH into a cultural arts and educational center for the Newton community. This is an ambitious project that requires the mobilization of extensive financial and human resources. The property has been neglected for decades and suffers from water damage, storm damage and years of deferred maintenance.

The completed project will create a remarkable community facility within a pristine historical setting that is accessible to persons with disabilities and able to support a wide variety of educational and cultural uses. Preliminary estimates suggest a construction cost in the three million dollar range. However, as the pieces of the development are assembled, the property sits vacant creating a hazard to itself and to the surrounding neighborhood even as portions of the existing house are able to be occupied in their current condition.

Therefore, the project is to be divided into two phases; the first of which will use the main spaces of the existing house which are in good condition to create an immediate Phase One- Partial Occupancy. This will provide a 24 hour presence on the site, establish a modest revenue stream and begin the process of bringing the NAH back to life. All of these aspects will support the ability to raise the funds for the extensive construction necessary to complete Phase Two of the project and allow the full occupancy of the expanded and restored building. During Phase One the unoccupied portion of the building will be completely closed off with no public access.

Existing Conditions

The existing building was constructed over a period of approximately seventy years and currently comprises the original 7,000 SF 1840's Greek Revival house, the attached 2,000 SF servants quarters at the rear and a large 4,500 SF attached barn on the right. The most recent occupancy of the building has been seven apartments and two publically accessed spaces for the NAH archives on the first floor of the house. The building presents extensive challenges for creating access because of its eight separate floor levels and eleven entrances, none of which are currently accessible. In addition, there are antique stairways, historic doors and residential

bathrooms that do not comply with 521 CMR. Many areas of the building require new foundations and extensive structural repairs prior to being able to be renovated for the proposed occupancy.

Refer to the attached set of existing plans numbered AAB1 through AAB9 and photographs numbered AAB24 through AAB29 illustrating the existing conditions at the site.

The servants' quarters and about one half of the existing barn structure are suffering from severe water damage. These areas are in need of significant structural restoration including shoring, excavation, new foundations and reconstructing the wood frame structure. Because of the extent and complexity of working on these portions of the building, the extensive structural work is postponed to a second phase during which time four new accessible entrances and a new accessible public basement space under the barn will be created along with the installation of a full service passenger elevator providing access to five of the eight levels of the building on which most of the public spaces are located.

There are 20 parking spaces in two existing gravel lots. For Phase One, one space will be converted to a fully compliant van accessible space with an accessible route created to a new accessible entrance. Phase Two parking facilities will comprise 26 spaces of which three will be accessible adjacent to the accessible entrances. In addition a drop off area will also be provided in Phase Two at the main accessible entrance from Webster Street.

When Phase Two is completed with accessible parking, four accessible entrances, a full service elevator and accessible toilet rooms, a very high degree of accessibility will have been created for a significant historic structure that has never been accessible.

Proposed Phase One Partial Occupancy- Fall 2013

Although the barn and servants' quarters are in need of significant structural repairs before these could be renovated for public use, the existing spaces of the main house are generally in useable condition once a new fire alarm is installed and simple repairs are made to the facility.

Therefore, NCA plans to convert the existing first and second floor spaces of the main house comprising 5,422 SF to non-profit educational use available to a wide range of music, cultural and arts organizations to conduct their programs as well as to the Mayor's Office for Cultural Affairs (OCA) for their educational programs. NCA will operate and schedule the NAH facilities.

The existing 1,585 SF third floor apartment will be occupied by a resident NCA employee, as an accessory use to the primary educational function. The NCA resident employee will function as an evening caretaker in addition to his or her daytime duties. The 24 hour presence will improve public safety, protect the building and eliminate other problems associated with a vacant property.

A new 36 month Temporary Certificate of Occupancy (TCO) for the occupied portion of the house will be sought in fall 2013 for the non-profit educational use, the accessory gallery and office uses and the accessory caretaker apartment.

Funding of the Phase One Construction is available from the Newton's Village Bank which has agreed to lend the funds necessary to construct Phase One of the project.

Jurisdiction of the MAAB for Phase One

The city of Newton assessed the total parcel with the building at \$1,162,600, the land value as \$401,000 and the building without the land at \$761,500. Thirty percent of the building value is \$228,450. There are no permits for the past three years.

The spending for Phase One is anticipated to be approximately \$100,000 and less than 30% of the building value. Thus the jurisdiction of 521 CMR for Phase One is based on Section 3.3.1 b. requiring an accessible entrance, toilet room and drinking water dispenser.

See attached spreadsheet "Nathaniel Allen House- Jurisdiction per 521 CMR chapter 3" illustrating the assessor's valuation and spending analysis dated July 15, 2013.

Additionally, there is a change of use from private use to public use on a portion of the first floor and for the entire second floor of the house. Thus there is additional Phase One jurisdiction of 521 CMR 3.4 requiring an accessible route to the first and second floors of the existing house.

Proposed Phase One Accessibility

The jurisdiction of the Board for the Phase One improvements is based on 521 CMR section 3.3.1.b. for spending of \$100,000 as well as 521 CMR Section 3.4 for a change of use from space not open to the public (apartments) to a public use (non-profit educational).

An accessible route from a new van accessible parking space in the Cherry Street lot into the first floor will be constructed on the west side of the house consisting of a temporary metal 1/12 slope compliant ramp, new accessible entrance porch and 3' wide accessible door unit.

A single user accessible toilet room will also be constructed and an accessible drinking water dispenser provided on the accessible first floor.

Compliant lever handle door hardware will be provided on all swinging doors in public areas.

A 36 month time variance (Variance #1) is being sought to postpone providing an accessible route to the second floor of the house until the elevator is installed in Phase Two of the project providing full access to both floors of the house and the expanded basement.

The third floor apartment use remains and as such is not open to the public and thus exempt from the regulations in Phase One.

Refer to the set of proposed plans numbered AAB10 through AAB14 illustrating the proposed construction and single time variance requested for Phase One.

Phase One- (1) Time Variance requested

Variance #1 (521 CMR 20.0)- Relief is requested to not supply an accessible route to the second floor until October 2016 due to excessive cost without substantial benefit because all programs available on the second floor can and will be scheduled on the accessible first floor to accommodate persons with disabilities as follows.

NAH will schedule the Program Rooms for activities based on the needs of the participants not the specific program, thus affording full access to persons with disabilities. In addition, all public meeting and gallery space will be located on the accessible first floor. Finally, a written Accommodation Policy will be submitted to the AAB for approval and then posted on the NAH web site regarding access to programs.

The elevator will be installed by October 2016, thus providing full access to the second floor and other NAH public spaces.

Status reports will be provided to the AAB by NCA every six months starting in April 2014 advising as to the progress of fund raising activities and construction operations.

Proposed Phase Two Full Occupancy- October 2016

A 24 month fundraising and grant writing period is contemplated starting in September 2013 to raise the approximately \$3,000,000 estimated to construct Phase Two of the project. An additional 12 month period for construction operations is also estimated.

Therefore the Second Phase of the Project should be completed in approximately 36 months by October 2016 at which time the basement, first floors of the house, servants quarters and barn, house second floor and servants' second floor will all become accessible.

A permanent Certificate of Occupancy (CO) will be sought for the project when the construction is completed and the entire building is occupied.

Jurisdiction of the MAAB for Phase Two

The spending for Phase Two is anticipated to be approximately \$3,000,000, greater than 30% of the building value. Thus the jurisdiction of 521 CMR for Phase Two is based on Section 3.3.2. requiring full compliance for the entire building.

See attached spreadsheet "Nathaniel Allen House- Jurisdiction per 521 CMR chapter 3" illustrating the assessor's valuation and spending analysis dated July 15, 2013.

Proposed Phase Two Accessibility Improvements

Three **accessible parking** spaces including one van space will be provided at the accessible entrances along with a drop off area. Twenty six total parking spaces are provided on the site.

Five existing **entrances** will be made fully accessible. Two existing entrances will be designated as "egress only" and one as "employees only". Compliant thresholds will be provided or modified at all exterior entrance doors. Relief (Variance #2) is requested to allow one existing historic entrance porch with six risers located a few feet from a new accessible entrance to remain because of excessive cost without substantial benefit. Both of these entrances from Webster Street provide access to the same public spaces and to the elevator located between the first floor of the main house and the ground floor of the barn and reconfigured servants' quarters. Directional signage will be provided directing the public to the adjacent accessible entrance.

A full service, EMT compliant, five stop **passenger elevator** will be installed in a space connecting the house, servants' quarters and barn. Three new fully compliant ramps are being installed, one at the exterior and two at the interior of the barn to overcome existing level changes. The new elevator and the new ramps will provide vertical access to five of the eight existing floor levels and 24 of the 27 spaces proposed to be open to the public. All of the public gallery, recital, and meeting spaces throughout the Phase Two project will be accessible.

It is not technologically feasible to overcome narrow existing steps and provide access to three program spaces on the second floor of the barn (Rooms 14, 15 and 16). Relief (Variance #3) for providing an **accessible route** from the elevator lobby and second floor of the house to these spaces is requested. There is inadequate floor space available at the existing stair landing to install a vertical wheelchair lift or ramp because of an existing chimney from the fireplace in the original 1840's NAH school class room below. Programs to include persons with disabilities can be scheduled in one of the other 13 accessible Program Rooms. A written Accommodation Policy will be submitted to the AAB for approval and then posted on the NAH web site.

The existing third floor apartment will be converted from a staff apartment to "**employee only**" **administrative offices** and not open to the public during Phase Two. The NAH business office is located on the accessible first floor of the building and an accessible conference room for meetings will be provided on the accessible second floor to mitigate the lack of access to the third

floor staff offices. Due to its limited floor plate, it is technologically unfeasible to provide an additional stop for the elevator to the third floor offices from the building below.

Nine **accessible toilet rooms** are proposed for Phase Two. Relief (Variance #4) is requested for (7) inaccessible public toilet rooms to remain due to excessive cost without substantial benefit because there is at least one on accessible toilet room on every accessible level of the building. Directional signage will be provided directing the public to the accessible facilities.

A new interior **egress stairway** from the basement of the barn to the ground floor above will be fully compliant in terms of risers, treads, nosing and handrails.

Compliant handrails and guards will be installed at three **exterior stairways**.

Compliant wall side hand rails will be provided for three **historic interior stairways**. Relief (Variance #5) is requested to allow the historic interior stairways' winders, nosings and ornamental handrails and newell posts to remain. Due to their size and adjacent construction, it is technologically unfeasible to construct compliant stairways in these locations.

Compliant lever handle **door hardware** will be provided on all swinging doors in public areas.

Interior door **thresholds** will be modified to be compliant at all doors accessing public spaces.

Three **36" interior doors** will replace existing non compliant doors on the first and second floors of the house to improve access into program spaces. Relief is requested for (3) first floor noncompliant **historic double leaf door units** (Variances 6A and 6B) based on excessive cost without substantial benefit since these doors can remain in their open position at most times when the public is moving through the building.

Relief (Variance 6C) is requested for (7) existing **32" wide historic doors**, primarily on the second floor of the house which provide a clear width of 31", after "swing clear" offset hinges are installed, based on excessive cost without substantial benefit. Widening these historic door openings will require structural alterations to the building and reconstructing all of the adjacent historic trim, baseboards and flooring at an estimated cost of \$3,600 per opening. NCA believes that these doors, although not ideal, will be useable when providing a 31" clear opening.

Relief (Variance 6D) is requested for (6) **historic doors** which provide secondary access to public spaces served by another accessible door or to inaccessible spaces based on excessive cost without substantial benefit, because these doors will not be used.

Two Areas of **Rescue Assistance** will be created to provide accessible second means of egress at the lowest levels of the house and barn.

A new addressable **fire alarm system** with fully compliant notification devices will be installed.

An **Assistive Listening System** will be provided in the barn lower level assembly space.

Refer to the set of proposed plans numbered AAB15 through AAB23 illustrating the proposed construction and variances requested for Phase Two.

Phase Two- (5) Additional Variances requested

#2 (521 CMR 25.1) Historic main entrance into house with five existing steps. A new accessible entrance is located a few feet away from this entrance.

#3 (521 CMR 20.0) Accessible route in the barn to Program Rooms 14, 15, and 16. Thirteen program spaces are located on accessible levels of the building.

#4 (521 CMR 30.0) Seven existing public toilet rooms will be left unimproved. Nine accessible public toilet rooms will be provided.

#5 (521 CMR 27.0) Existing historic stairways' winder treads, nosings and handrails (3 total). Compliant wall side handrails at each flight will be provided along with elevator service.

#6A (521 CMR 26.4) Two existing non compliant historic double leaf door units will remain in the first floor Reception space and will remain open except in an emergency with magnetic hold open devices connected to the fire alarm.

#6B (521 CMR 26.4) One existing non compliant historic double leaf door unit will remain at the first floor Program 1 space. This pair of doors will remain open unless closed or opened by the instructor at the beginning and end of scheduled programs.

#6C (521 CMR 26.5) On the second floor of the house (7) existing 32" historic doors to public spaces will be fitted with offset hinges to provide a 31" clear width and will remain.

#6D (521 CMR 26.5) Location 1- On the first floor of the house complete relief is sought for (1) existing historic door providing less than 32" clear space to the Large Gallery since there is an adjacent 72" double leaf door unit to access the same space.

#6D (521 CMR 26.5) Location 2- On the second floor of the house complete relief is sought for (2) existing historic doors providing less than 32" clear space, one to the inaccessible Ladies Toilet room and one to the inaccessible Stair Hall.

#6D (521 CMR 26.5) Location 3- Complete relief is sought for (3) existing historic doors providing less than 32" clear space at the inaccessible portion of the barn second floor.

End of Attachment



July 29, 2013

35 Webster Street, West Newton MA 02465

Nathaniel Allen House- Jurisdiction per 521 CMR chapter 3

PHASE ONE- Limited Construction and Partial Occupancy

Total Value Land and Building	\$1,162,600		
Land value	\$401,000		
Building Value	\$761,500		
30% spending threshold for full compliance	\$761,500	0.3	\$228,450
Proposed Phase One Construction	\$110,000	less than 30%	
Accessible Entrance and Accessible Toilet Room Required			

PHASE TWO- Completed Construction and Full Occupancy

Total Value Land and Building	\$1,162,600		
Land value	\$401,000		
Building Value	\$761,500		
30% spending threshold for full compliance	\$761,500	0.3	\$228,450
Proposed Phase Two Construction	\$3,000,000	greater than 30%	
Full Compliance Required			

ARCHITECTURAL ACCESS BOARD SUBMISSION OF
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35 Webster Street, Newton, MA 02465

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Newton Cultural Alliance
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Newton, MA 02459
Phone: (617) 828-3484

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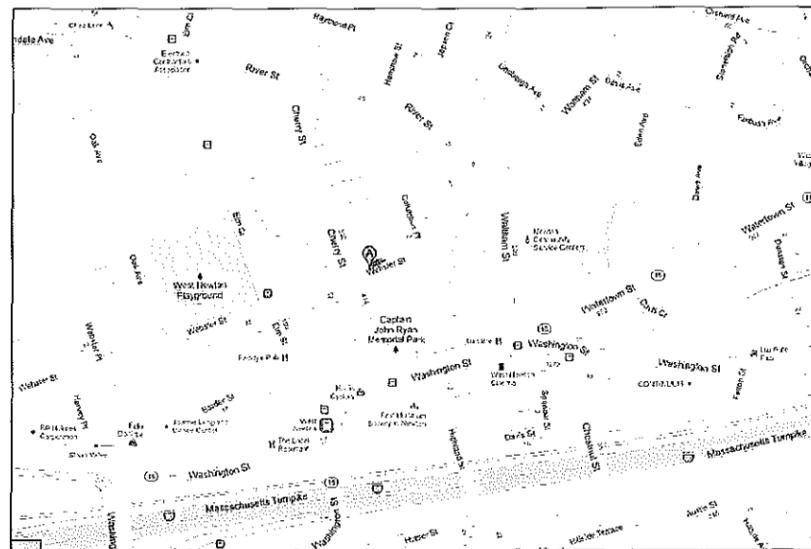
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LOCATION MAP



DRAWING LIST:

EXISTING CONDITIONS

- AAB1- EL1.0- EXISTING LANDSCAPING PLAN
- AAB2- EX1.0- EXISTING BASEMENT PLAN
- AAB3- EX1.1- EXISTING GROUND FLOOR PLAN
- AAB4- EX1.2- EXISTING SECOND FLOOR PLAN
- AAB5- EX1.3- EXISTING THIRD FLOOR PLAN
- AAB6- EX2.0- EXISTING NORTH ELEVATIONS
- AAB7- EX2.1- EXISTING EAST ELEVATIONS
- AAB8- EX2.2- EXISTING SOUTH ELEVATIONS
- AAB9- EX2.3- EXISTING WEST ELEVATIONS

PHASE ONE- PARTIAL OCCUPANCY

- AAB10- L1.0- PROPOSED LANDSCAPING PLAN
- AAB11- A1.0- PROPOSED BASEMENT PLAN
- AAB12- A1.1- PROPOSED GROUND FLOOR PLAN
- AAB13- A1.2- PROPOSED SECOND FLOOR PLAN
- AAB14- A1.3- PROPOSED THIRD FLOOR PLAN

PHASE TWO- FULL OCCUPANCY

- AAB15- L1.0- PROPOSED LANDSCAPING PLAN
- AAB16- A1.0- PROPOSED BASEMENT PLAN
- AAB17- A1.1- PROPOSED GROUND FLOOR PLAN
- AAB18- A1.2- PROPOSED SECOND FLOOR PLAN
- AAB19- A1.3- PROPOSED THIRD FLOOR PLAN
- AAB20- A2.0- PROPOSED NORTH ELEVATIONS
- AAB21- A2.1- PROPOSED EAST ELEVATIONS
- AAB22- A2.2- PROPOSED SOUTH ELEVATIONS
- AAB23- A2.3- PROPOSED WEST ELEVATIONS

PHOTOGRAPHY

- AAB24- BUILDING VIEWS
- AAB25- STREET VIEWS
- AAB26- HISTORIC PHOTOS
- AAB27- ACCESSIBILITY
- AAB28- REPAIRS
- AAB29- OTHER ALTERATIONS

Nathaniel Allen House
35 Webster Street
Newton, MA 02465

Project No. 1106

File: WSSD16's Survey Plan

X-Refs:

Date Issued: 07-29-13

Drawn By: FH

Checked By: EL

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Project No. 1106

File: WSSD16's Survey Plan

X-Refs:

Date Issued: 07-29-13

Drawn By: FH

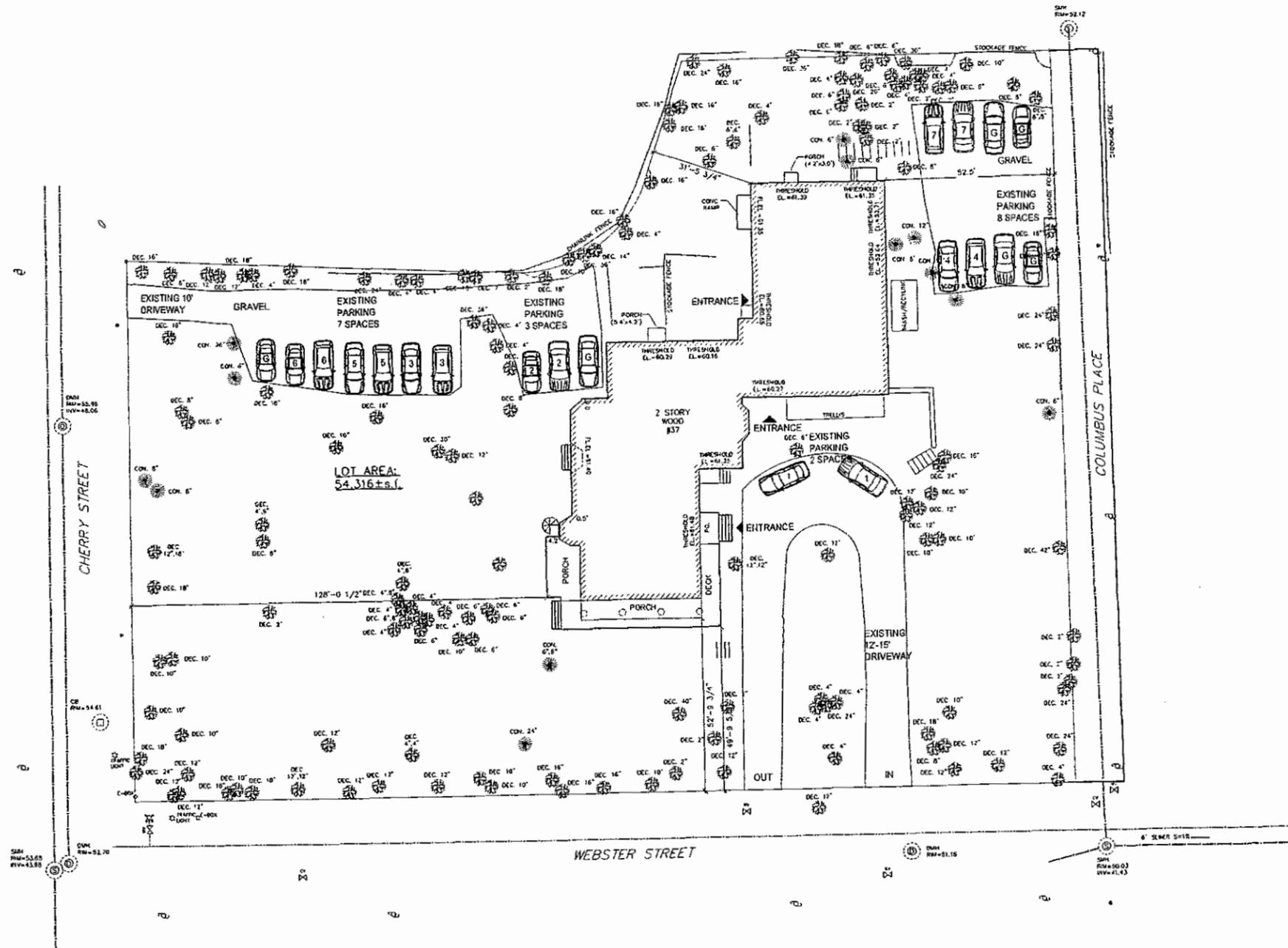
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Sheet No.

EXISTING LANDSCAPING PLAN

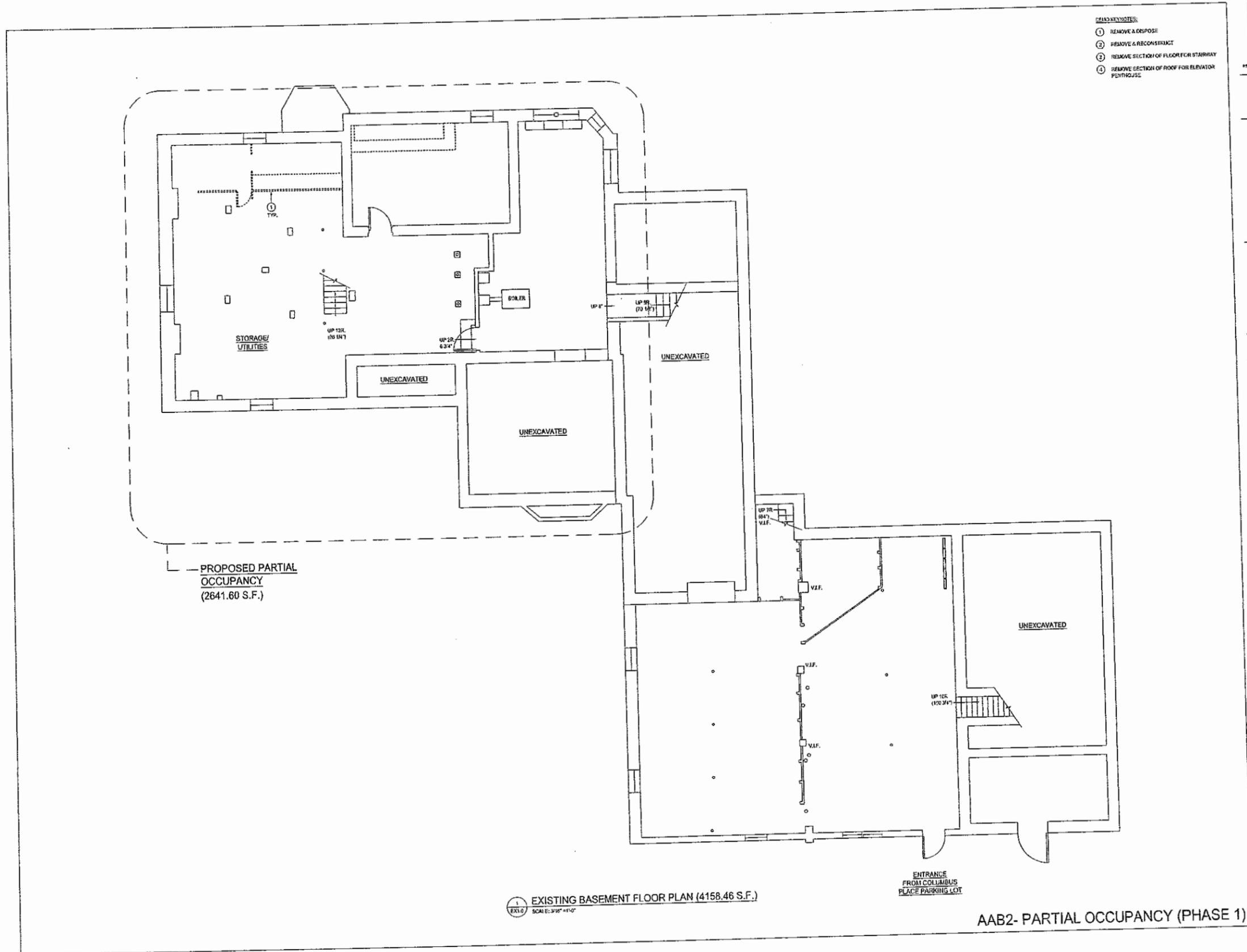
Sheet No.

EL1.0



EXISTING LANDSCAPING PLAN- 19 PARKING SPACES (UNLINED)
SCALE: 1/8" = 1'-0"
NOTE: 11 SPACES REZ'D FOR (2) EXISTING APARTMENTS

AAB1- PARTIAL OCCUPANCY (PHASE 1)



- FIELD NOTES:**
- ① REMOVE & DISPOSE
 - ② REMOVE & RECONSTRUCT
 - ③ REMOVE SECTION OF FLOOR FOR STAIRWAY
 - ④ REMOVE SECTION OF ROOF FOR ELEVATOR PORTRICOUSE

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Nathaniel Allen House
 35 Webster Street
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Revision	Description

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Project No.	WAS
File	WASCHW/Existing Plan
X-Ref	
Date Issued	07-28-13
Drawn By	FH
Checked By	DL

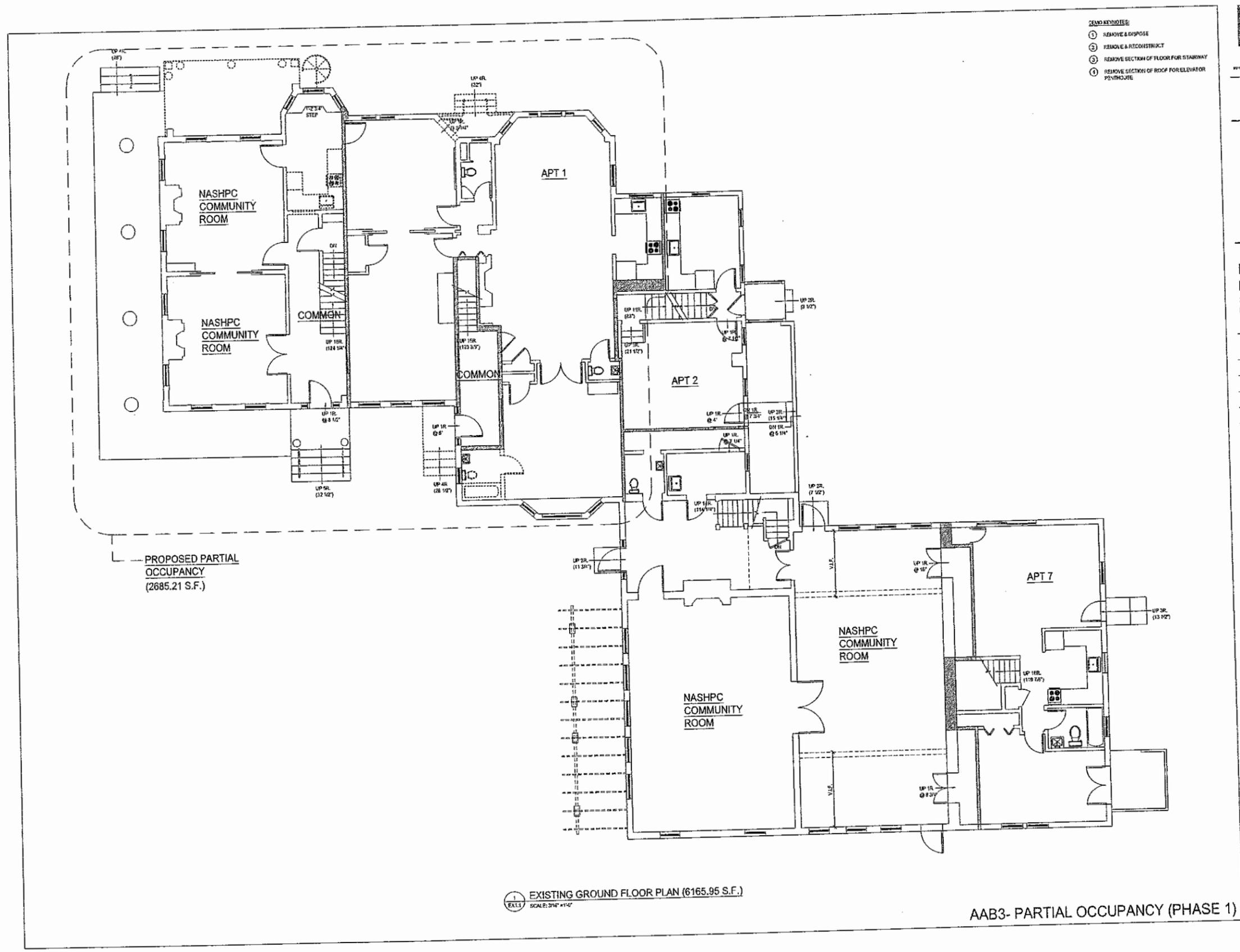


03/17/13
EXISTING BASEMENT FLOOR PLAN

07/12/13

EX1.0

AAB2- PARTIAL OCCUPANCY (PHASE 1)



- REMO KEYNOTES:**
- ① REMOVE & DISPOSE
 - ② REMOVE & RECONSTRUCT
 - ③ REMOVE SECTION OF FLOOR FOR STAIRWAY
 - ④ REMOVE SECTION OF ROOF FOR ELEVATOR PENNYQUEL

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Form	Comment
Date	

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Project No.	W31
File	W31016s Existing Plan
X-Ref	
Date Issued	07-29-13
Drawn By	PH
Checked By	DL

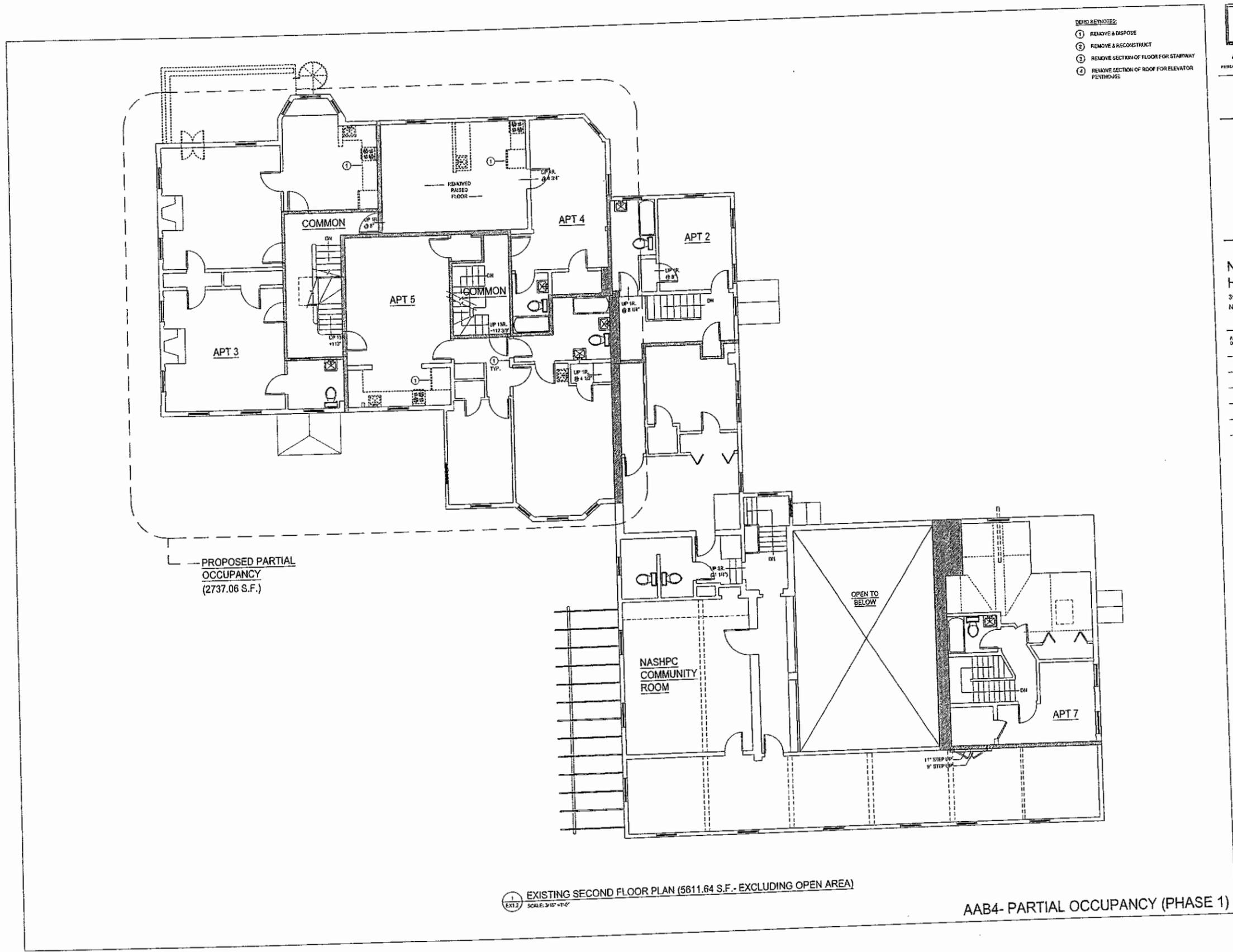


EXISTING GROUND FLOOR PLAN

EXISTING GROUND FLOOR PLAN (6165.95 S.F.)
 SCALE: 3/16" = 1'-0"

AAB3- PARTIAL OCCUPANCY (PHASE 1)

EX1.1



- DEMO KEYNOTES:**
- ① REMOVE & DISPOSE
 - ② REMOVE & RECONSTRUCT
 - ③ REMOVE SECTION OF FLOOR FOR STAIRWAY
 - ④ REMOVE SECTION OF ROOF FOR ELEVATOR PENTHOUSE

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Revision	Description

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Project No.	435
File	W252716-Exter 3 Plan
X-Ref	
Date Issued	07-28-13
Drawn By	LS
Checked By	EL

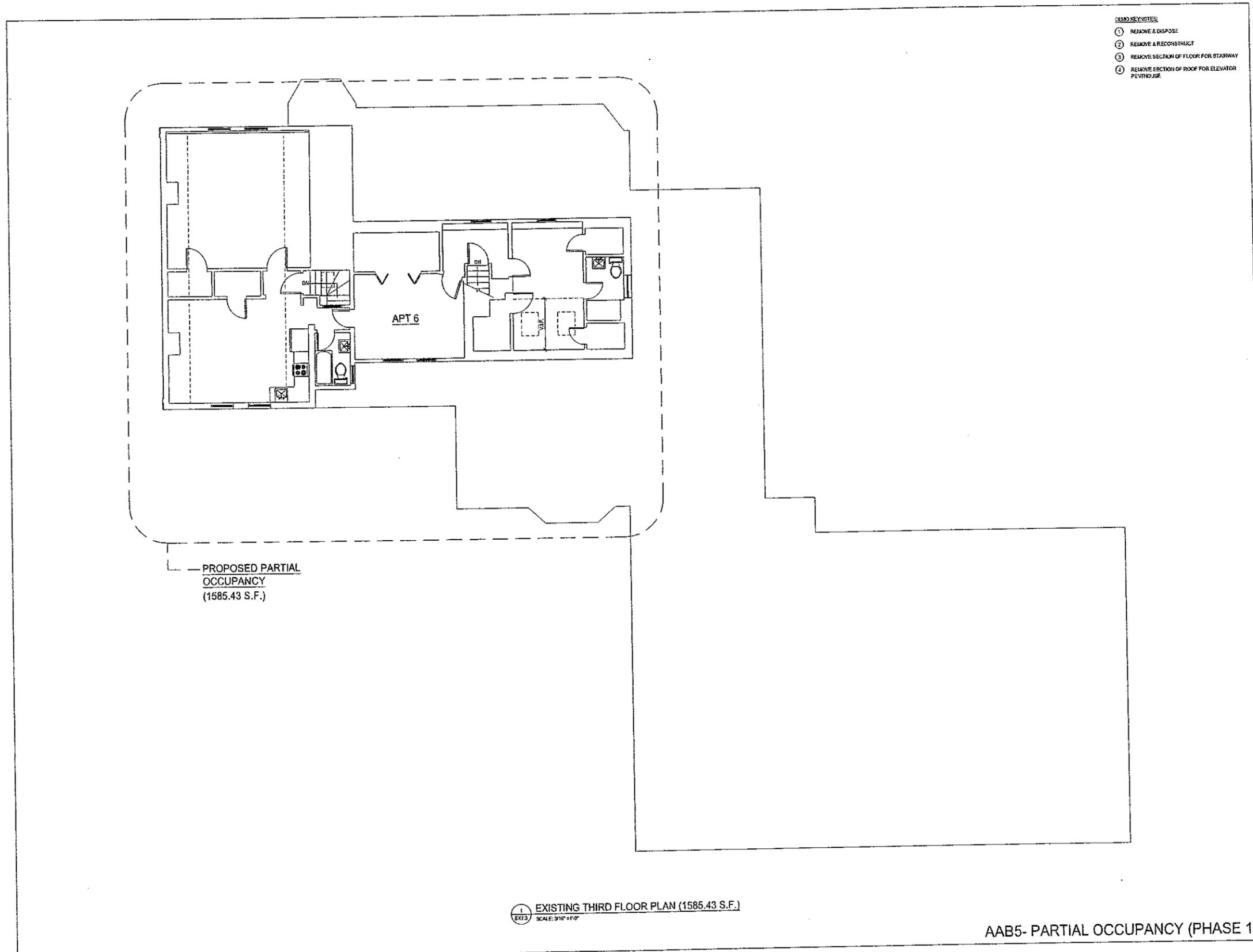


EXISTING SECOND FLOOR PLAN

EX1.2

EXISTING SECOND FLOOR PLAN (5611.64 S.F. - EXCLUDING OPEN AREA)
 SCALE: 3/16" = 1'-0"

AAB4- PARTIAL OCCUPANCY (PHASE 1)



- REMOVAL KEYNOTES:**
- ① REMOVE & DISPOSE
 - ② REMOVE & RECONSTRUCT
 - ③ REMOVE SECTION OF FLOOR FOR STAIRWAY
 - ④ REMOVE SECTION OF ROOF FOR ELEVATOR PENETRATION

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Person	Description

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Project No.	1515
File	W550710s Existing Plan
X-Ref:	
Date Issued	07-23-13
Drawn By	DS
Checked By	DL

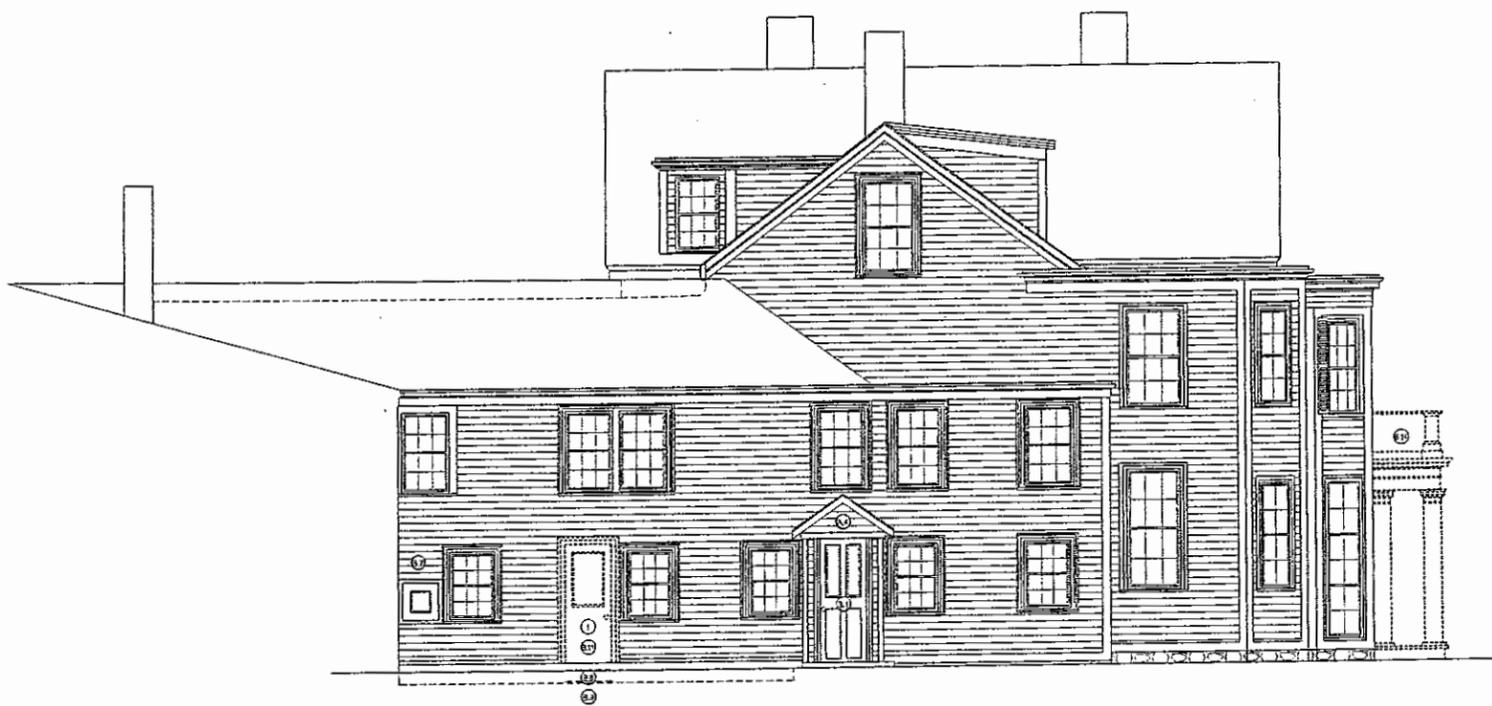


EXISTING THIRD FLOOR PLAN

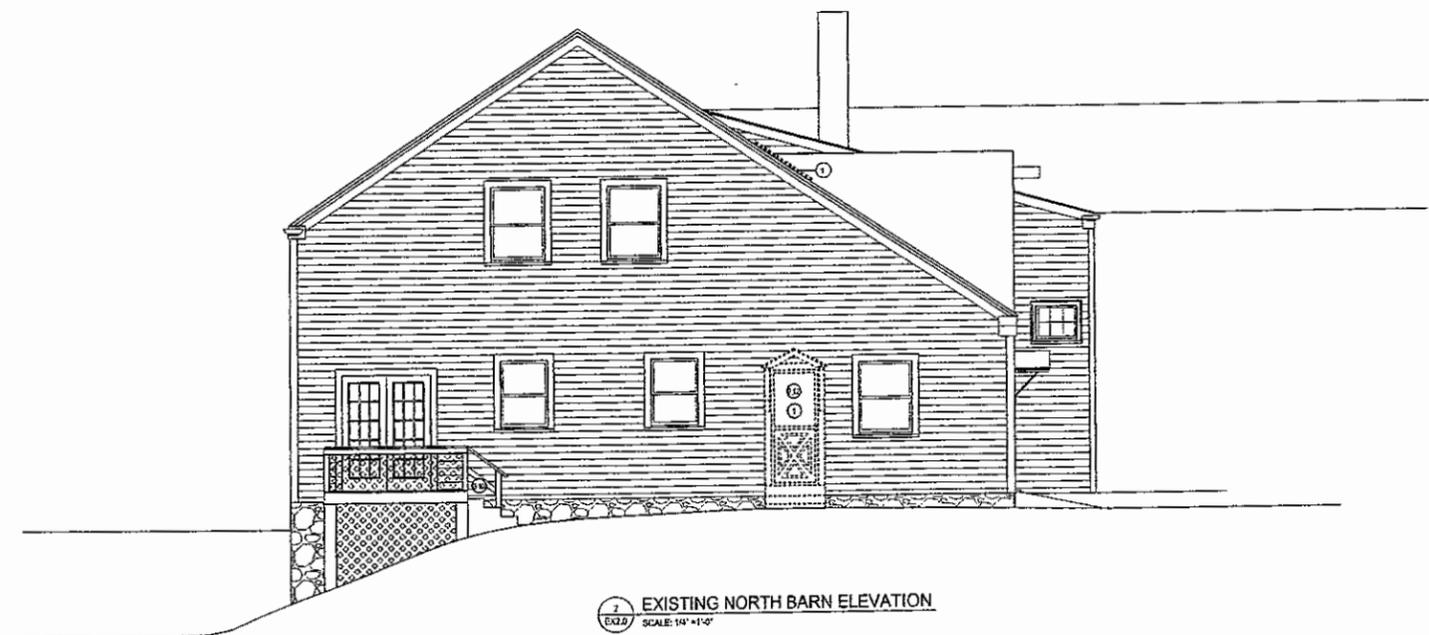
① EXISTING THIRD FLOOR PLAN (1585.43 S.F.)
 SCALE: 3/16" = 1'-0"

AAB5- PARTIAL OCCUPANCY (PHASE 1)

EX1.3



1 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING NORTH BARN ELEVATION
SCALE: 1/4" = 1'-0"

- DEMO KEYNOTES:**
- 1 REMOVE & DISPOSE
 - 2 REMOVE & RECONSTRUCT
 - 3 REMOVE SECTION OF FLOOR FOR STAIRWAY
 - 4 REMOVE SECTION OF ROOF FOR ELEVATOR PENTHOUSE
- HOUSE ALTERATIONS "TYPE A" - PREVIOUSLY APPROVED BY IMC:**
- A1 NOT USED
 - A2 REPLACEMENT OF ISOLING GLASS DOOR WITH WOOD DIVIDED LIGHT FRENCH DOOR ON WEST SIDE OF BARN
 - A3 NOT USED
 - A4 ADDITIONAL REPLACEMENT IN KIND OF SMALL ROOFS AT SEVERAL ENTRANCES.
- HOUSE ALTERATIONS "TYPE B" - NEW FOR LICIA PROJECT:**
- B.1 UNKIN HANDICAP ACCESSIBILITY MODIFICATIONS AT (D) EXISTING ENTRANCES THAT ARE ALMOST AT GRADE.
 - B.2 MODIFICATION OF EXISTING WESTER STREET DRIVEWAY SIDE ENTRANCE TO CREATE ACCESSIBLE EGRESS INCLUDING AN AREA OF RESCUE.
 - B.3 ADDITION OF ELEVATOR PENTHOUSE TO UPPER FLAT ROOF AREA.
 - B.4 REPLACEMENT OF OPEN PORTICO THAT WAS REMOVED AT EXISTING SOUTH BARN ENTRANCE. REUSE REPAIRED COLUMNS FROM NEARBY SIDE PORCH.
 - B.5 REMOVAL OF PORTIONS OF WRAP AROUND "FARMERS PORCH" CHECK ON WESTER STREET SIDE OF HOUSE TO RESTORE ORIGINAL PORTICO COLONNAGE. A DEFINING FEATURE OF THE PROPERTY.
 - B.6 REMOVAL OF EXISTING SPIRAL STAIRWAY FROM WEST SIDE OF HOUSE.
 - B.7 REPAIR OF WATER DAMAGE AT NORTH SIDE OF HOUSE FORMER SERVANTS WING AND WEST SIDE OF BARN.
 - B.8 CREATION OF "SUNKEN GARDEN" IN EXISTING AREAWAY TO ALLEVIATE WATER DRAINAGE PROBLEMS.
 - B.9 ADDITION OF FOUR WINDOWS TO BASEMENT AND NEW GUARD RAIL AT SUNKEN GARDEN AREAWAY.
 - B.10 ADDITION OF COLUMNS HANDRAILS AT (D) EXISTING EXTERIOR STAIRWAYS.
 - B.11 REMOVE 1960'S NON-ORIGINAL FIRST FLOOR DOOR AT NORTH SIDE OF FORMER SERVANTS WING AND REPLACE WITH NEW WINDOW.
 - B.12 REMOVE 1960'S NON-ORIGINAL FIRST FLOOR DOOR AT NORTH SIDE OF BARN AND REPLACE WITH NEW WINDOW.
 - B.13 REMOVE HAZARDOUS DOOR AT FIRST FLOOR EAST SIDE OF BARN.
 - B.14 REMOVE NON-ORIGINAL SIDE PORCH AT WEST SIDE OF HOUSE TO RESTORE ORIGINAL PORTICO COLONNAGE. EXISTING NON-ORIGINAL 2ND FLOOR EXIT OVER PORCH TO BE REPLACED WITH NEW WINDOW AS ORIGINAL.
 - B.15 REMOVAL OF EXISTING SKYLIGHT AND ADDITION OF 3 NEW SKYLIGHTS TO WEST BARN ROOF.
 - B.16 ADDITION OF RAMP TO ACCESSIBLE EGRESS ENTRY TO BE SCREENED BY PLANTING AND FENCING.
 - B.17 SAVE COLUMNS FOR REUSE AT NEW SOUTH BARN ENTRANCE PORTICO. REPAIR COLUMNS AS REQ'D WITH EPOXY FILLERS.
 - B.18 ADDITION OF NEW WINDOWS AND COVERED ACCESSIBLE ENTRY EGRESS AT LOWER LEVEL OF BARN EAST SIDE.

ADDITIONAL REPAIR WORK:
REPAIRS REQUIRED TO THE EXTERIOR OF THE BUILDING WILL BE COMPLETED "IN PLACE" WHERE POSSIBLE. LOCATIONS WHERE DAMAGE IS EXTENSIVE AND AN "IN PLACE" APPROACH IS NOT POSSIBLE WILL BE COMPLETED WITH A "REPLACEMENT IN KIND" APPROACH.
IP REPAIR DAMAGED ELEMENTS "IN PLACE" WITH SIMILAR MATERIALS.
RKR REPLACE "IN KIND" - USING IDENTICAL MATERIALS TO THE EXISTING STRUCTURE.

WINDOW NOTES:
WINDOWS SHALL BE REPAIRED ACCORDING TO SEVERAL LEVELS OF REPAIR AND REPLACEMENT AFTER A THOROUGH SURVEY AS FOLLOWS:
LEVEL 1: REPLACE BROKEN OR MISSING COMPONENTS SUCH AS GLASS, SASH, PALLETS AND WEIGHTS.
LEVEL 2: REPLICATE FAILED SASH AND THEN REPLACE MISSING COMPONENTS AS LISTED IN LEVEL 1.
LEVEL 3: REPAIR IN PLACE ALL ROTTING SILLS AND CASING WITH EPOXY FILLERS, REPLICATE FAILED SASH AND REPLACE MISSING COMPONENTS LISTED IN LEVEL 1.
NEW WINDOWS WILL BE PAINTED WOOD, SIMULATED TRUE DIVIDED LIGHT, INSULATING WINDOWS WITH MILLION DIMENSIONS MATCHING THE EXISTING WINDOWS AS CLOSELY AS POSSIBLE. WINDOWS SHALL BE FROM JELD-WEN, PELLA OR MARINI.

DOOR NOTES:
ALL ENTRANCE DOORS SHALL BE REPLACED WITH NEW UNITS WITH COMPLIANT THRESHOLDS. NEW DOORS SHALL BE REPLACED WITH PAINTED WOOD "REPLICA" UNITS BASED ON THE EXISTING COPIRIGHTS. EXISTING UNITS WITH GLAZING WEIGHTS SHALL BE REPLACED WITH PAINTED WOOD DOORS WITH SIMULATED TRUE DIVIDED LIGHT, INSULATING DOORS WITH MILLION DIMENSIONS MATCHING THE EXISTING DOORS AS CLOSELY AS POSSIBLE. DOORS SHALL BE FROM JELD-WEN, PELLA OR MARINI. COMPLIANT LEVER DOOR HARDWARE SHALL BE INSTALLED AT ALL DOORS IN PUBLIC AREAS.



ISSUES

Number	Date	Description
1	05/08/2013	1-4: 5, 6, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

Revisions

Number	Date	Description
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Created by: LFC
Drawn by: LFC

Nathaniel Allen
House
35 Webster Street
Newton, MA 02465

EXISTING NORTH ELEVATIONS

Drawing Scale: 1/4" = 1'-0"

Project Number: 13102

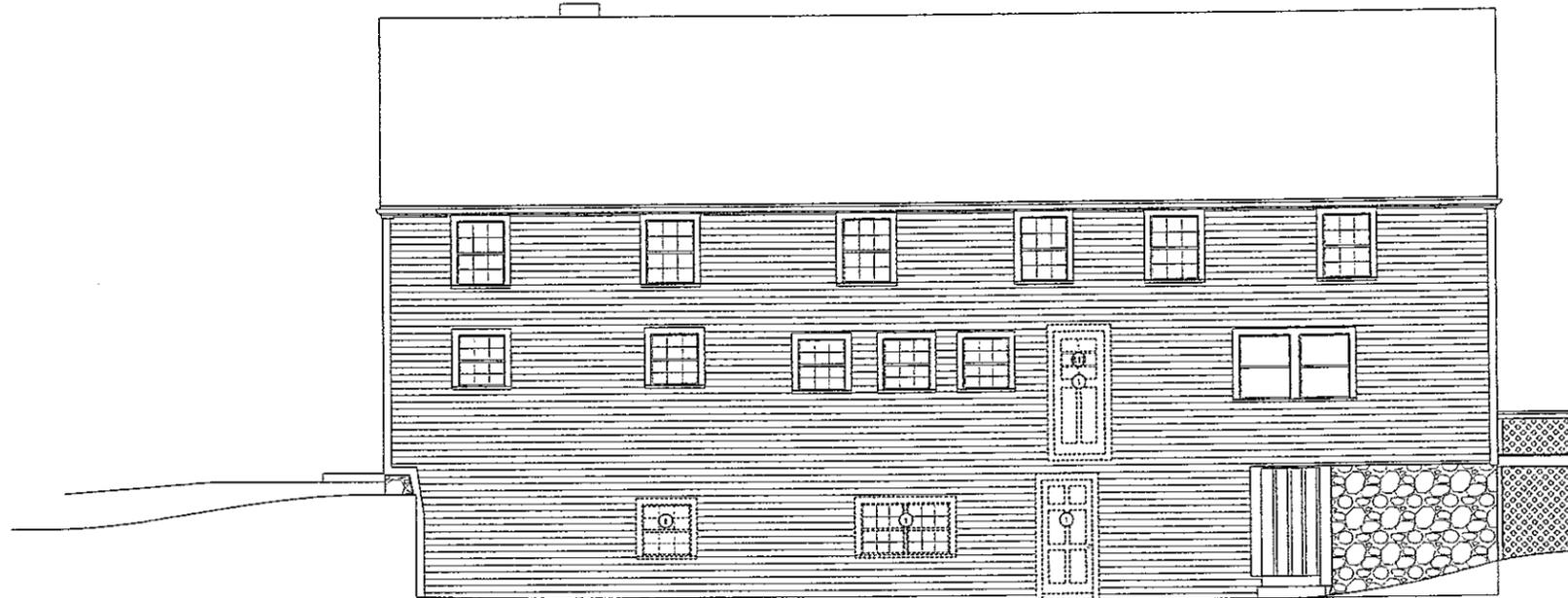
Date Revis: 02.28.13

EX2.0

AAB6- PARTIAL OCCUPANCY (PHASE 1)



1 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING EAST BARN ELEVATION
SCALE: 1/4" = 1'-0"

DEMO KEYNOTES:

- 1 REMOVE & DISPOSE
- 2 REMOVE & RECONSTRUCT
- 3 REMOVE SECTION OF FLOOR FOR STAIRWAY
- 4 REMOVE SECTION OF ROOF FOR ELEVATOR PENTHOUSE

HOUSE ALTERATIONS "TYPE A" - PREVIOUSLY APPROVED BY NHC:

- A1 NOT USED
- A2 REPLACEMENT OF SLUING GLASS DOOR WITH WOOD DIVIDED LIGHT FRENCH DOOR ON WEST SIDE OF BARN, NOT USED
- A3 NOT USED
- A4 ADDITIONAL REPLACEMENT IN KIND OF SMALL ROOFS AT SEVERAL ENTRANCES.

HOUSE ALTERATIONS "TYPE B" - NEW FOR NCA PROJECT

- B.1 IMPROVE HANDICAP ACCESSIBILITY MODIFICATIONS AT (A) EXISTING ENTRANCES THAT ARE ALMOST AT GRADE.
- B.2 MODIFICATION OF EXISTING WESTER STREET DRIVEWAY SIDE ENTRANCE TO CREATE ACCESSIBLE EGRESS INCLUDING AN AREA OF RESCUE.
- B.3 ADDITION OF ELEVATOR PENTHOUSE TO UPPER FLAT ROOF AREA.
- B.4 REPLACEMENT OF OPEN PORTICO THAT WAS REMOVED AT EXISTING SOUTH BARN ENTRANCE. REUSE REPAIRED COLUMNS FROM REMOVED SIDE PORCH.
- B.5 REMOVAL OF PORTIONS OF WRAP AROUND "BARBERS PORCH" DECK ON WESTER STREET SIDE OF HOUSE TO RESTORE ORIGINAL PORTICO COLONNADA, A DEFINING FEATURE OF THE PROPERTY.
- B.6 REMOVAL OF EXISTING SPIRAL STAIRWAY FROM WEST SIDE OF HOUSE.
- B.7 REPAIR OF WATER DAMAGE AT NORTH SIDE OF HOUSE FORMER SERVANTS WING AND WEST SIDE OF BARN.
- B.8 CREATION OF "BUNKER GARDEN" IN EXISTING AREAWAY TO ALLEVIATE WATER DRAINAGE PROBLEMS.
- B.9 ADDITION OF FOUR WINDOWS TO BASEMENT AND NEW GUARD RAIL AT SUNSET GARDEN AREAWAY.
- B.10 ADDITION OF COMPLIANT HANDRAILS AT (2) EXISTING EXTERIOR STAIRWAYS.
- B.11 REMOVE 1980S NON-ORIGINAL FIRST FLOOR DOOR AT NORTH SIDE OF FORMER SERVANTS WING AND REPLACE WITH NEW WINDOW.
- B.12 REMOVE 1980S NON-ORIGINAL FIRST FLOOR DOOR AT NORTH SIDE OF BARN AND REPLACE WITH NEW WINDOW.
- B.13 REMOVE HAZARDOUS DOOR AT FIRST FLOOR EAST SIDE OF BARN.
- B.14 REMOVE NON-ORIGINAL SIDE PORCH AT WEST SIDE OF HOUSE TO RESTORE ORIGINAL PORTICO COLONNADA. EXISTING NON-ORIGINAL 2ND FLOOR EXIT ONTO PORCH TO BE REPLACED WITH NEW WINDOW AS ORIGINAL.
- B.15 REMOVAL OF EXISTING SKYLIGHT AND ADDITION OF 3 NEW SKYLIGHTS AT WEST BARN ROOF.
- B.16 ADDITION OF RAMP TO ACCESSIBLE EGRESS ENTRY TO BE SCREENED BY PLANTING AND FENCING.
- B.17 SAME COLUMNS FOR REUSE AT NEW SOUTH BARN ENTRANCE PORTICO. REPAIR COLUMNS AS REQD WITH EPOXY FILLERS.
- B.18 ADDITION OF NEW WINDOWS AND COVERED ACCESSIBLE ENTRY/EGRESS AT LOWER LEVEL OF BARN EAST SIDE.

ADDITIONAL REPAIR WORK:

- REPAIRS REQUIRED TO THE EXTERIOR OF THE BUILDING WILL BE COMPLETED "IN PLACE" WHERE POSSIBLE. LOCATIONS WHERE DAMAGE IS EXTENSIVE AND AN "IN PLACE" APPROACH IS NOT POSSIBLE WILL BE COMPLETED WITH A "REPLACEMENT IN KIND" APPROACH.
- IP REPAIR DAMAGED ELEMENTS "IN PLACE" WITH SIMILAR MATERIALS.
- RK REPLACE "IN KIND" USING IDENTICAL MATERIALS TO THE EXISTING STRUCTURE.

WINDOW NOTES:

WINDOWS SHALL BE REPAIRED ACCORDING TO SEVERAL LEVELS OF REPAIR AND REPLACEMENT AFTER A THOROUGH SURVEY AS FOLLOWS:

- LEVEL 1: REPLACE BROKEN OR MISSING COMPONENTS SUCH AS GLASS, TOPES, PALLEYS AND HINGERS.
- LEVEL 2: REPLICATE FAILED SASH AND THEN REPLACE MISSING COMPONENTS AS LISTED IN LEVEL 1.
- LEVEL 3: REPAIR IN PLACE ALL ROTTED SILLS AND CASING WITH EPOXY FILLERS, REPLICATE FAILED SASH AND REPLACE MISSING COMPONENTS LISTED IN LEVEL 1.

NEW WINDOWS WILL BE PAINTED WOOD, SIMULATED TRUE DIVIDED LIGHT, INSULATING WINDOWS WITH MULLION DIMENSIONS MATCHING THE EXISTING WINDOWS AS CLOSELY AS POSSIBLE. WINDOWS SHALL BE FROM ELD-VEN, PELLA OR MARKY.

DOOR NOTES:

ALL ENTRANCE DOORS SHALL BE REPLACED WITH NEW UNITS WITH COMPLIANT THRESHOLDS. NEW DOORS SHALL BE REPLACED WITH PAINTED WOOD "REPLICA" UNITS BASED ON THE EXISTING CONDITIONS. EXISTING UNITS WITH GLAZING/SCREENS SHALL BE REPLACED WITH PAINTED WOOD DOORS WITH SIMULATED TRUE DIVIDED LIGHT, INSULATING DOORS WITH MULLION DIMENSIONS MATCHING THE EXISTING DOORS AS CLOSELY AS POSSIBLE. DOORS SHALL BE FROM ELD-VEN, PELLA OR MARKY. COMPLIANT LEVER DOOR HARDWARE SHALL BE INSTALLED AT ALL DOORS IN PUBLIC AREAS.



Number	Date	Description
1	05/05/2013	ANC SUBMISSION

Number	Date	Description
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Created by: UPS
Drawn by: UPS

Nathaniel Allen House
35 Webster Street
Newton, MA 02465

EXISTING EAST ELEVATIONS

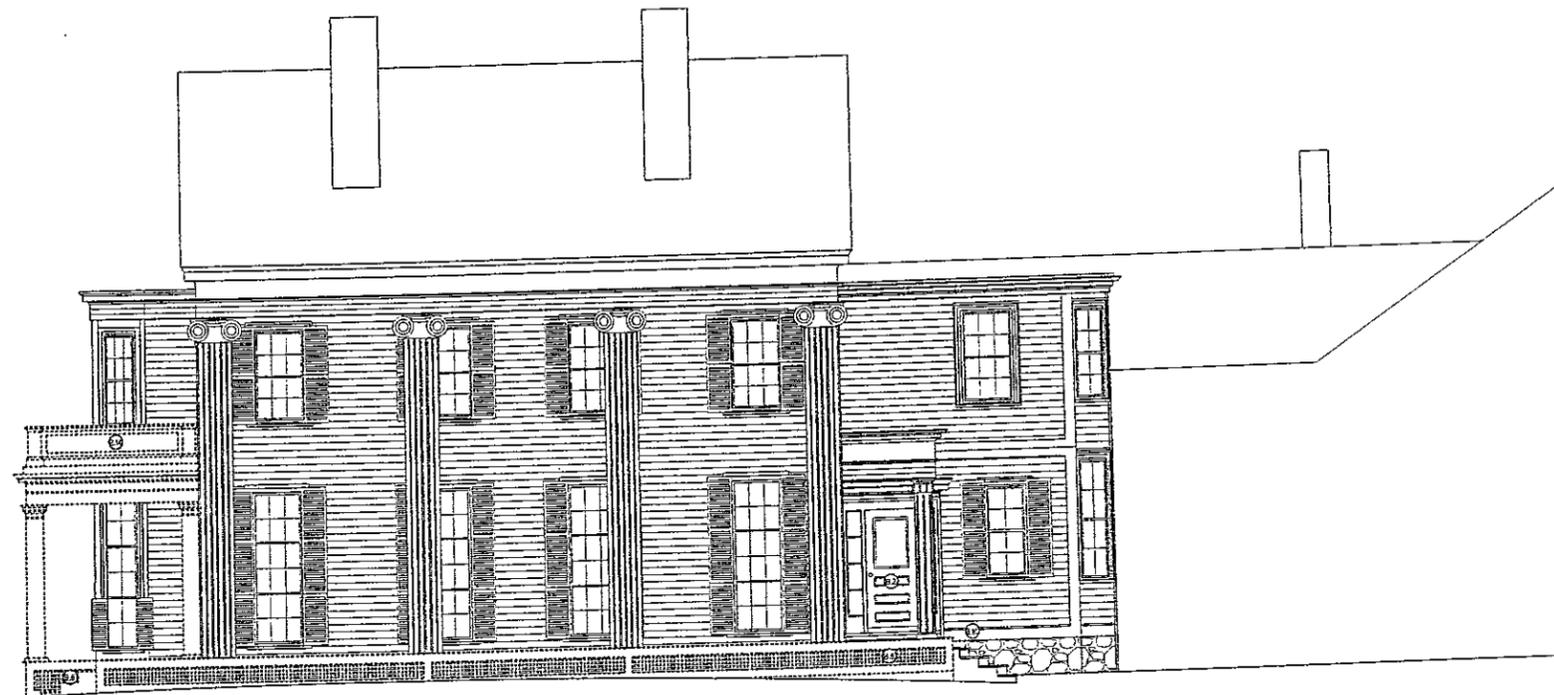
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Project Number: 13001

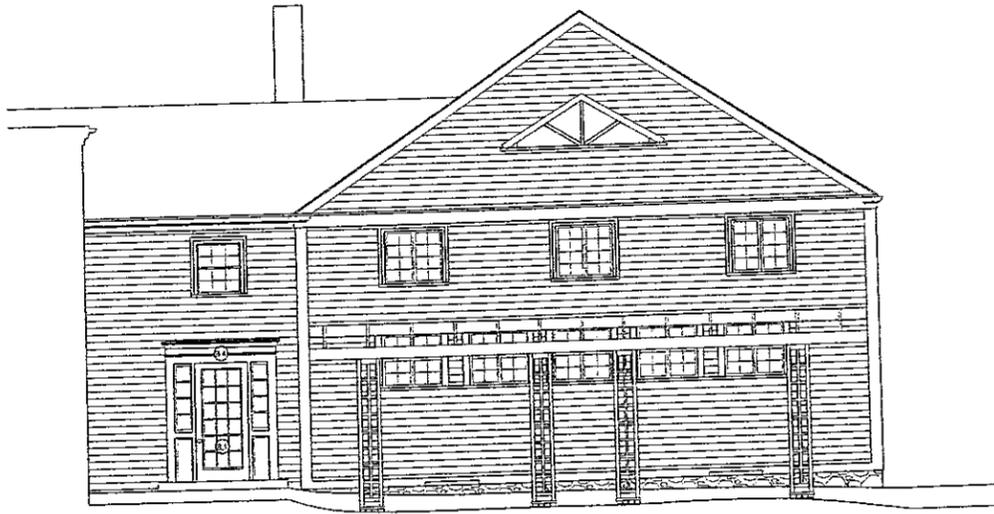
Date Issued: 02.28.13

AAB7- PARTIAL OCCUPANCY (PHASE 1)

EX2.1



EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING SOUTH BARN ELEVATION
SCALE: 1/4" = 1'-0"

- DEMO KEYNOTES:**
- 1 REMOVE & DISPOSE
 - 2 REMOVE & RECONSTRUCT
 - 3 REMOVE SECTION OF FLOOR FOR STAIRWAY
 - 4 REMOVE SECTION OF ROOF FOR ELEVATOR PENTHOUSE
- HOUSE ALTERATIONS "TYPE A" - PREVIOUSLY APPROVED BY NHC:**
- A.1 NOT USED
 - A.2 REPLACEMENT OF SLIDING GLASS DOOR WITH WOOD DIVIDED LIGHT FRENCH DOOR ON WEST SIDE OF BARN.
 - A.3 NOT USED
 - A.4 ADDITION OF RAMP IN KIND OF SMALL ROOFS AT SEVERAL ENTRANCES.
- HOUSE ALTERATIONS "TYPE B" - NEW FOR A/C PROJECT:**
- B.1 IMPROVE PARKING ACCESSIBILITY MODIFICATIONS AT (3) EXISTING ENTRANCES THAT ARE ALMOST AT GRADE.
 - B.2 MODIFICATION OF EXISTING WESTERN STREET DRIVEWAY SIDE ENTRANCE TO CREATE ACCESSIBLE EGRESS INCLUDING AN AREA OF RESCUE.
 - B.3 ADDITION OF ELEVATOR PENTHOUSE TO UPPER FLAT ROOF AREA.
 - B.4 REPLACEMENT OF OPEN PORTICO THAT WAS REMOVED AT EXISTING SOUTH BARN ENTRANCE. REUSE REPAIRED COLUMNS FROM REMOVED SIDE PORCH.
 - B.5 REMOVAL OF PORTIONS OF WRAP AROUND "FARMERS PORCH" DECK ON WEBSTER STREET SIDE OF HOUSE TO RESTORE ORIGINAL PORTICO COLONNAGE. A DEFINING FEATURE OF THE PROPERTY.
 - B.6 REMOVAL OF EXISTING SPIRAL STAIRWAY FROM WEST SIDE OF HOUSE.
 - B.7 REPAIR OF WATER DAMAGE AT NORTH SIDE OF HOUSE FORMER SERVANTS' WING AND WEST SIDE OF BARN.
 - B.8 CREATION OF "SUNKEN GARDEN" IN EXISTING AREAWAY TO ALLEVIATE WATER DRAINAGE PROBLEMS.
 - B.9 ADDITION OF FLOOR WINDOWS TO BASEMENT AND NEW GUARD RAIL AT SUNKEN GARDEN AREAWAY.
 - B.10 ADDITION OF COMPLIANT HANDRAILS AT (3) EXISTING EXTERIOR STAIRWAYS.
 - B.11 REMOVE 1940'S NON-ORIGINAL FIRST FLOOR DOOR AT NORTH SIDE OF FORMER SERVANTS' WING AND REPLACE WITH NEW WINDOW.
 - B.12 REMOVE 1940'S NON-ORIGINAL FIRST FLOOR DOOR AT NORTH SIDE OF BARN AND REPLACE WITH NEW WINDOW.
 - B.13 REMOVE HAZARDOUS DOOR AT FIRST FLOOR EAST SIDE OF BARN.
 - B.14 REMOVE NON-ORIGINAL SIDE PORCH AT WEST SIDE OF HOUSE TO RESTORE ORIGINAL PORTICO COLONNAGE. EXISTING NON-ORIGINAL FIRST FLOOR DOOR ONTO PORCH TO BE REPLACED WITH NEW WINDOW AS ORIGINAL.
 - B.15 REMOVAL OF EXISTING SKYLIGHT AND ADDITION OF 3 NEW SKYLIGHTS AT WEST BARN ROOF.
 - B.16 ADDITION OF RAMP TO ACCESSIBLE EGRESS ENTRY TO BE SCREENED BY PLANTING AND FINCHES.
 - B.17 SAVE COLUMNS FOR REUSE AT NEW SOUTH BARN ENTRANCE PORTICO. REPAIR COLUMNS AS NEEDED WITH EPOXY FILLERS.
 - B.18 ADDITION OF NEW WINDOWS AND COVERED ACCESSIBLE ENTRY/EGRESS AT LOWER LEVEL OF BARN EAST SIDE.

ADDITIONAL REPAIR WORK:
REPAIRS REQUIRED TO THE EXTERIOR OF THE BUILDING WILL BE COMPLETED "IN PLACE" WHERE POSSIBLE. LOCATIONS WHERE DAMAGE IS EXTENSIVE AND AN "IN PLACE" APPROACH IS NOT POSSIBLE WILL BE COMPLETED WITH A "REPLACEMENT IN KIND" APPROACH.
"R" REPAIR DAMAGED ELEMENTS "IN PLACE" WITH SIMILAR MATERIALS.
"RK" REPLACE IN KIND - USING IDENTICAL MATERIALS TO THE EXISTING STRUCTURE.

WINDOW NOTES:
WINDOWS SHALL BE REPAIRED ACCORDING TO SEVERAL LEVELS OF REPAIR AND REPLACEMENT AFTER A THOROUGH SURVEY AS FOLLOWS:
LEVEL 1: REPLACE BROKEN OR MISSING COMPONENTS SUCH AS GLASS, PUPPET, PALLETS AND WEIGHTS.
LEVEL 2: REPLICATE FAILED SASH AND THEN REPLACE MISSING COMPONENTS AS LISTED IN LEVEL 1.
LEVEL 3: REPAIR IN PLACE ALL FITTINGS SILLS AND CASING WITH EPOXY FILLERS. REPLICATE FAILED SASH AND REPLACE MISSING COMPONENTS LISTED IN LEVEL 1.

NEW WINDOWS WILL BE PAINTED WOOD, SIMULATED TRUE DIVIDED LIGHT, INSULATING WINDOWS WITH MULTIPLE DIMENSIONS MATCHING THE EXISTING WINDOWS AS CLOSELY AS POSSIBLE. WINDOWS SHALL BE FROM JELD-WEN, PELLA OR HARKOV.

DOOR NOTES:
ALL ENTRANCE DOORS SHALL BE REPLACED WITH NEW UNITS WITH COMPLIANT THRESHOLDS. NEW DOORS SHALL BE REPLACED WITH PAINTED WOOD "REPLICA" UNITS BASED ON THE EXISTING CONDITIONS. EXISTING DOORS WITH GLAZING/SKYLIGHTS SHALL BE REPLACED WITH PAINTED WOOD DOORS WITH SIMULATED TRUE DIVIDED LIGHT, INSULATING DOORS WITH MULTIPLE DIMENSIONS MATCHING THE EXISTING DOORS AS CLOSELY AS POSSIBLE. LEVEL DOOR HARDWARE SHALL BE FROM JELD-WEN, PELLA OR HARKOV. COMPLIANT LEVER DOOR HARDWARE SHALL BE INSTALLED AT ALL DOORS IN PUBLIC AREAS.



Issue #	Date	Description
1	05/08/2013	NEC SUBMISSION

Revisions	Author	Date	Description

Ordered by: LIG
Drawn by: LIG
Nathaniel Allen House
35 Webster Street
Newton, MA 02465

EXISTING SOUTH ELEVATIONS

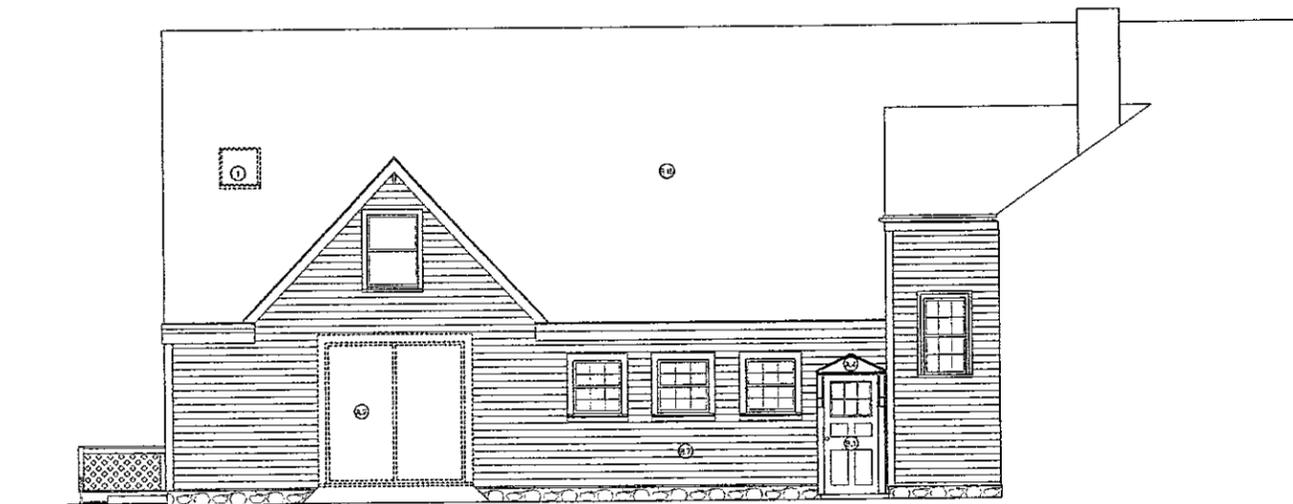
Drawing Scale: 1/4" = 1'-0"
Project Number: 15801
Date Issued: 02/25/13

AAB8- PARTIAL OCCUPANCY (PHASE 1)

EX2.2



1 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING WEST BARN ELEVATION
SCALE: 1/4" = 1'-0"

CEMO KEYNOTES:

- 1 REMOVE & DISPOSE
- 2 REMOVE & RECONSTRUCT
- 3 REMOVE SECTION OF FLOOR FOR STAIRWAY
- 4 REMOVE SECTION OF ROOF FOR ELEVATOR PENTHOUSE

HOUSE ALTERATIONS "TYPE A" - PREVIOUSLY APPROVED BY NHC:

- A.1 NOT USED
- A.2 REPLACEMENT OF SLIDING GLASS DOOR WITH WOOD DIVIDED LIGHT FRENCH DOOR ON WEST SIDE OF BARN,
- A.3 NOT USED
- A.4 ADDITION/REPLACEMENT KIND OF SMALL DOORS AT SEVERAL ENTRANCES.

HOUSE ALTERATIONS "TYPE B" - NEW FOR NCA PROJECT:

- B.1 UNDER PAVEMENT ACCESSIBILITY DOOR LOCATIONS AT (3) EXISTING ENTRANCES THAT ARE AT MOST AT GRADE.
- B.2 MODIFICATION OF EXISTING WEBSTER STREET DRIVEWAY SIDE ENTRANCE TO CREATE ACCESSIBLE EGRESS INCLUDING AN AREA OF RESCAFE.
- B.3 ADDITION OF ELEVATOR PENTHOUSE TO UPPER FLAT ROOF AREA.
- B.4 REPLACEMENT OF OPEN PORTICO THAT WAS REMOVED AT EXISTING SOUTH BARN ENTRANCE. REUSE REPAIRED COLUMNS FROM REMOVED SIDE PORCH.
- B.5 REMOVAL OF PORTIONS OF W/RA AROUND "FARMER'S PORCH" DECK ON WEBSTER STREET SIDE OF HOUSE TO RESTORE ORIGINAL PORTICO COLONNADE. A DEFINING FEATURE OF THE PROPERTY.
- B.6 REMOVAL OF EXISTING SPIRAL STAIRWAY FROM WEST SIDE OF HOUSE.
- B.7 REPAIR OF WATER DAMAGE AT NORTH SIDE OF HOUSE FORMER SERVANTS' WING AND WEST SIDE OF BARN.
- B.8 CREATION OF "SUNSHY GARDEN" IN EXISTING AREAWAY TO ALLEVIATE WATER DRAINAGE PROBLEMS.
- B.9 ADDITION OF FRENCH WINDOWS TO BASEMENT AND NEW CHAIR RAIL AT SUNSHY GARDEN AREAWAY.
- B.10 ADDITION OF COMPLIANT HANDRAILS AT (3) EXISTING EXTERIOR STAIRWAYS.
- B.11 REMOVE 1980'S NON-ORIGINAL FIRST FLOOR DOOR AT NORTH SIDE OF FORMER SERVANTS' WING AND REPLACE WITH NEW WINDOW.
- B.12 REMOVE 1980'S NON-ORIGINAL FIRST FLOOR DOOR AT NORTH SIDE OF BARN AND REPLACE WITH NEW WINDOW.
- B.13 REMOVE HAZARDOUS DOOR AT FIRST FLOOR EAST SIDE OF BARN.
- B.14 REMOVE NON-ORIGINAL SIDE PORCH AT WEST SIDE OF HOUSE TO RESTORE ORIGINAL PORTICO COLONNADE. EXISTING NON-ORIGINAL 2ND FLOOR DECK PORCH TO BE REPLACED WITH NEW WINDOW AS ORIGINAL.
- B.15 REMOVAL OF EXISTING SKYLIGHT AND ADDITION OF 3 NEW SKYLIGHTS AT WEST BARN ROOF.
- B.16 ADDITION OF PAINT TO ACCESSIBLE EGRESS ENTRY TO BE SCREEDED BY PLATING AND FENCING.
- B.17 SAVE COLUMNS FOR REUSE AT NEW SOUTH BARN ENTRANCE PORTICO. REPAIR COLUMNS AS NEEDED WITH EPOXY FILLERS.
- B.18 ADDITION OF NEW WINDOWS AND COVERED ACCESSIBLE ENTRY/EGRESS AT LOWER LEVEL OF BARN EAST SIDE.

ADDITIONAL REPAIR WORK:

REPAIRS REQUIRED TO THE EXTERIOR OF THE BUILDING WILL BE COMPLETED "IN PLACE" WHERE POSSIBLE. LOCATIONS WHERE DAMAGE IS EXTENSIVE AND AN "IN PLACE" APPROACH IS NOT POSSIBLE WILL BE COMPLETED WITH A "REPLACEMENT IN KIND" APPROACH.
IP REPAIR DAMAGED ELEMENTS "IN PLACE" WITH SIMILAR MATERIALS.
RK REPLACE IN KIND - USE IDENTICAL MATERIALS TO THE EXISTING STRUCTURE.

WINDOW NOTES:

WINDOWS SHALL BE REPAIRED ACCORDING TO SEVERAL LEVELS OF REPAIR AND REPLACEMENT AFTER A THOROUGH SURVEY AS FOLLOWS:

- LEVEL 1: REPLACE BROKEN OR MISSING COMPONENTS SUCH AS GLASS, ROPES, PULLEYS AND WEIGHTS. REPLICATE PAINTED SASH AND REUSE MISSING COMPONENTS AS LISTED IN LEVEL 1.
- LEVEL 2: REPAIR IN PLACE ALL ROTTING CELLS AND CASING WITH EPOXY FILLERS. REPLICATE PAINTED SASH AND REPLACE MISSING COMPONENTS LISTED IN LEVEL 1.

NEW WINDOWS WILL BE PAINTED WOOD, SIMULATED TRUE DIVIDED LIGHT, INSULATING WINDOWS WITH MULLION DIMENSIONS MATCHING THE EXISTING WINDOWS AS CLOSELY AS POSSIBLE. WINDOWS SHALL BE FROM JELD-WEN, PELLA OR HARNWY.

DOOR NOTES:

ALL ENTRANCE DOORS SHALL BE REPLACED WITH NEW UNITS WITH COMPLIANT THRESHOLDS. NEW DOORS SHALL BE REPLACED WITH PAINTED WOOD "REPLICA" UNITS BASED ON THE EXISTING CONDITIONS. EXISTING UNITS WITH GLAZING OR LIGHTS SHALL BE REPLACED WITH PAINTED WOOD DOORS WITH SIMULATED TRUE DIVIDED LIGHT, INSULATING DOORS WITH MULLION DIMENSIONS MATCHING THE EXISTING DOORS AS CLOSELY AS POSSIBLE. DOORS SHALL BE FROM JELD-WEN, PELLA OR HARNWY. COMPLIANT LEVER DOOR HARDWARE SHALL BE INSTALLED AT ALL DOORS IN PUBLIC AREAS.



DESIGNS
Architecture - Interior Design
231 Sutton Street, Suite 13
North Andover, MA 01845
978.663.3828

ISSUES

Number	Date	Description
1	05/08/2013	ISSUE SUBMISSION

Revisions

Number	Date	Description
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Checked by: LFC

Drawn by: LFC

Nathaniel Allen House
35 Webster Street
Newton, MA 02465

EXISTING WEST ELEVATIONS

Drawing Scale:
1/4" = 1'-0"

Project Number:
13901

Date Issued:
02.28.13

AAB9- PARTIAL OCCUPANCY (PHASE 1)

EX2.3

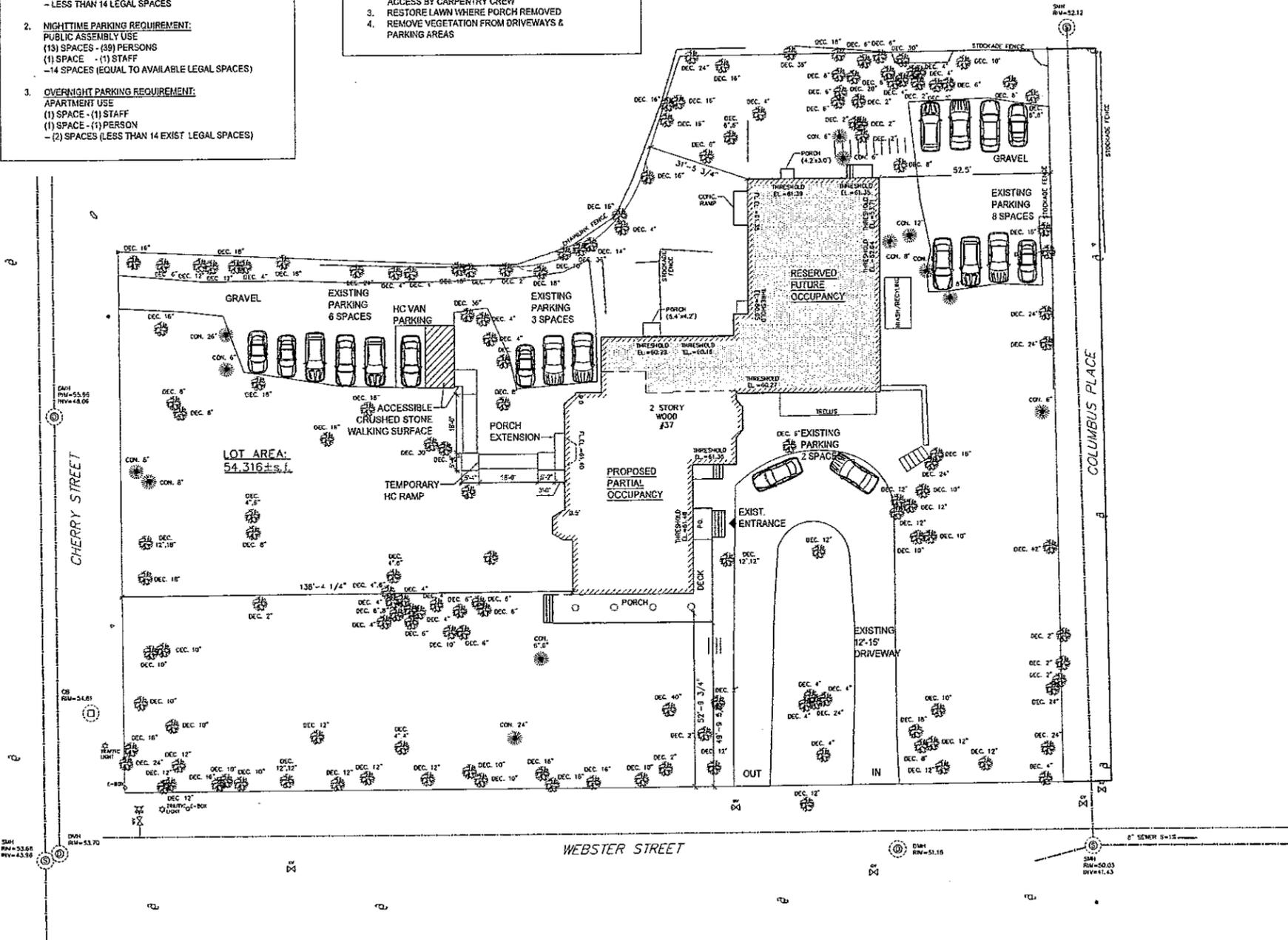
Nathaniel Allen House
35 Webster Street
Newton, MA 02465

Formal: Custom

Date: _____

- PROPOSED PARKING ANALYSIS**
- DAYTIME PARKING REQUIREMENT:**
(13) SPACES - (13) STAFF/TEACHERS
- LESS THAN 14 LEGAL SPACES
 - NIGHTTIME PARKING REQUIREMENT:**
PUBLIC ASSEMBLY USE
(13) SPACES - (39) PERSONS
(1) SPACE - (1) STAFF
-14 SPACES (EQUAL TO AVAILABLE LEGAL SPACES)
 - OVERNIGHT PARKING REQUIREMENT:**
APARTMENT USE
(1) SPACE - (1) STAFF
(1) SPACE - (1) PERSON
- (2) SPACES (LESS THAN 14 EXIST LEGAL SPACES)

- WORK BY OWNER (I.L.C.)**
- REMOVE DANGEROUS DISEASED TREES AND LIMBS
 - PRUNE VEGETATION AWAY FROM BUILDING TO ALLOW ACCESS BY CARPENTRY CREW
 - RESTORE LAWN WHERE PORCH REMOVED
 - REMOVE VEGETATION FROM DRIVEWAYS & PARKING AREAS



PROPOSED LANDSCAPING PLAN- 20 PARKING SPACES (UNLINED)
SCALE: 1/8" = 1'-0"
NOTE: PROPOSED PARKING REQUIREMENT REMAINS UNCHANGED AT (19) SPACES

AAB10- PARTIAL OCCUPANCY (PHASE 1)

PROPOSED LANDSCAPING PLAN

L1.0

Nathaniel Allen House

35 Webster Street
Newton, MA 02465

Revised Date	Description

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Project No.	W35
File	W35/OWG/Existing Plan
X-Refs	
Date Issued	07-29-13
Drawn By	PH
Checked By	DL



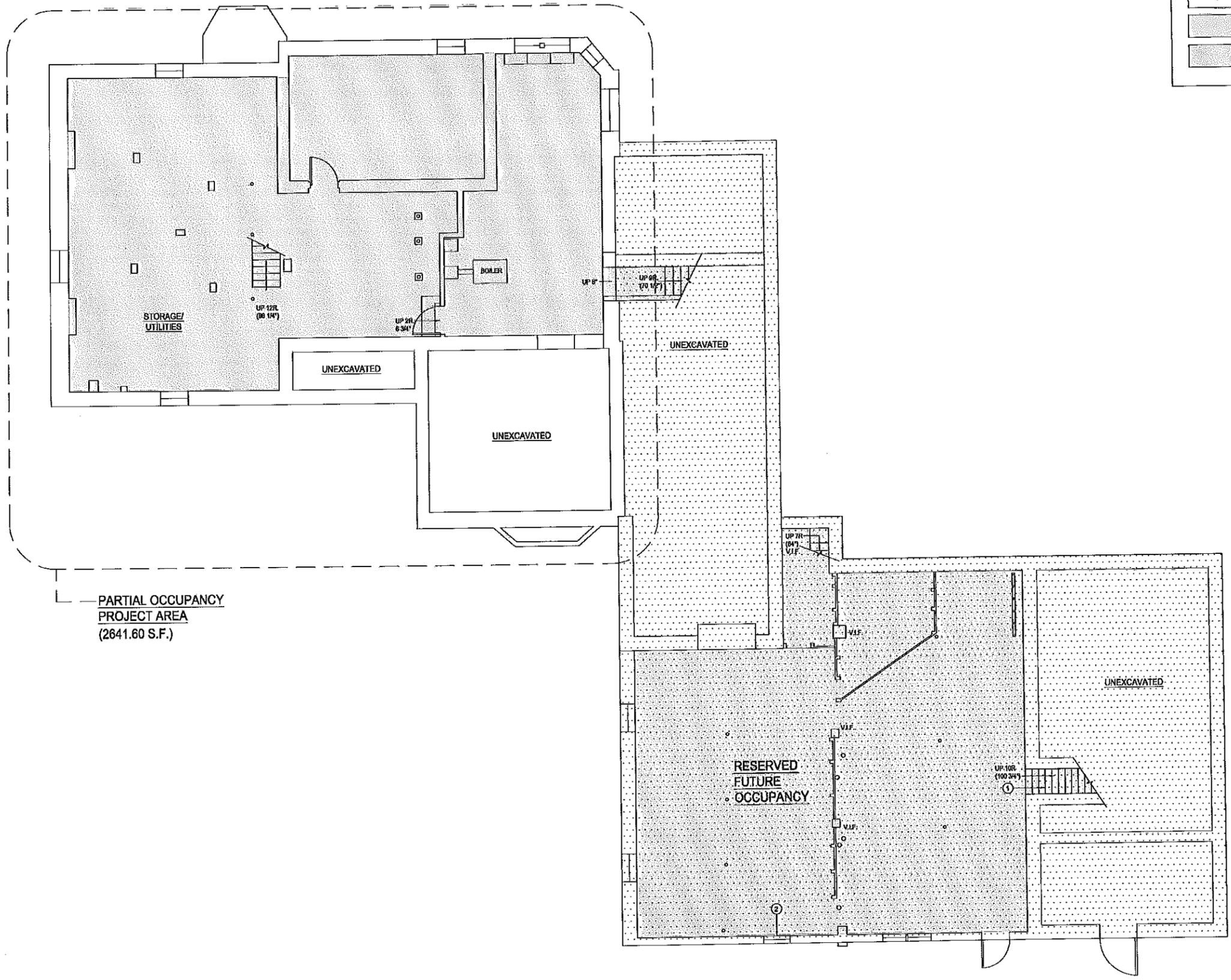
ISSUING TITLE
PROPOSED BASEMENT FLOOR PLAN

HEET NUMBER

A1.0

LEGEND:

- ACCESSIBLE
- NON-ACCESSIBLE
- NOT OPEN TO PUBLIC/
EMPLOYEE ONLY



PARTIAL OCCUPANCY
PROJECT AREA
(2641.60 S.F.)

1 PROPOSED BASEMENT FLOOR PLAN (5246.10 S.F.)
A1.0 SCALE: 3/16" = 1'-0"

ENTRANCE
FROM COLUMBUS
PLACE PARKING LOT

AAB11- PARTIAL OCCUPANCY (PHASE 1)

Nathaniel Allen House

35 Webster Street
 Newton, MA 02485

Revision Description

Revision	Description

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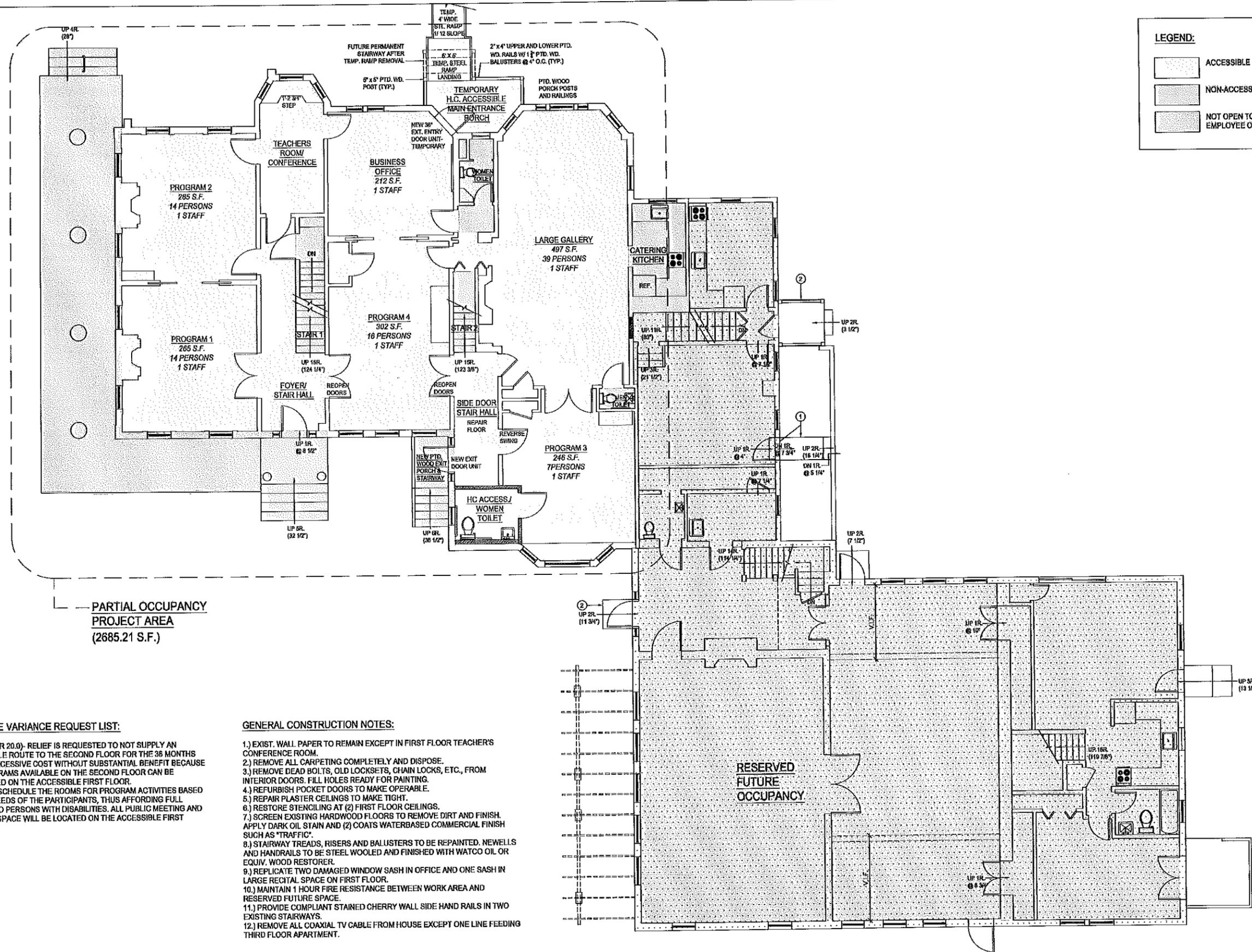
Project No.	W35
File	W35/DWG/Existing Plan
X-Refs	
Date Issued	07-29-13
Drawn By	PH
Checked By	DL



DWG TITLE

PROPOSED GROUND FLOOR PLAN

HEET NUMBER



PARTIAL OCCUPANCY PROJECT AREA
 (2685.21 S.F.)

AAB TIME VARIANCE REQUEST LIST:

#1 (521 CMR 20.0)- RELIEF IS REQUESTED TO NOT SUPPLY AN ACCESSIBLE ROUTE TO THE SECOND FLOOR FOR THE 36 MONTHS DUE TO EXCESSIVE COST WITHOUT SUBSTANTIAL BENEFIT BECAUSE ALL PROGRAMS AVAILABLE ON THE SECOND FLOOR CAN BE SCHEDULED ON THE ACCESSIBLE FIRST FLOOR. NAH WILL SCHEDULE THE ROOMS FOR PROGRAM ACTIVITIES BASED ON THE NEEDS OF THE PARTICIPANTS, THUS AFFORDING FULL ACCESS TO PERSONS WITH DISABILITIES. ALL PUBLIC MEETING AND GALLERY SPACE WILL BE LOCATED ON THE ACCESSIBLE FIRST FLOOR.

GENERAL CONSTRUCTION NOTES:

- EXIST. WALL PAPER TO REMAIN EXCEPT IN FIRST FLOOR TEACHER'S CONFERENCE ROOM.
- REMOVE ALL CARPETING COMPLETELY AND DISPOSE.
- REMOVE DEAD BOLTS, OLD LOCKSETS, CHAIN LOCKS, ETC., FROM INTERIOR DOORS. FILL HOLES READY FOR PAINTING.
- REFURBISH POCKET DOORS TO MAKE OPERABLE.
- REPAIR PLASTER CEILINGS TO MAKE TIGHT.
- RESTORE STENCILING AT (2) FIRST FLOOR CEILINGS.
- SCREEN EXISTING HARDWOOD FLOORS TO REMOVE DIRT AND FINISH. APPLY DARK OIL STAIN AND (2) COATS WATERBASED COMMERCIAL FINISH SUCH AS "TRAFFIC".
- STAIRWAY TREADS, RISERS AND BALUSTERS TO BE REPAINTED. NEWELLS AND HANDRAILS TO BE STEEL WOOLLED AND FINISHED WITH WATCO OIL OR EQUIV. WOOD RESTORER.
- REPLICATE TWO DAMAGED WINDOW SASH IN OFFICE AND ONE SASH IN LARGE RECITAL SPACE ON FIRST FLOOR.
- MAINTAIN 1 HOUR FIRE RESISTANCE BETWEEN WORK AREA AND RESERVED FUTURE SPACE.
- PROVIDE COMPLIANT STAINED CHERRY WALL SIDE HAND RAILS IN TWO EXISTING STAIRWAYS.
- REMOVE ALL COAXIAL TV CABLE FROM HOUSE EXCEPT ONE LINE FEEDING THIRD FLOOR APARTMENT.



PERSONAL (FOOD SERVICE) (HOLDING PERMITS)

1643 Beacon Street Suite 22
Woburn, MA 02468
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fax. 617.332.6461
www.dlaarch.com

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35 Webster Street
Newton, MA 02465

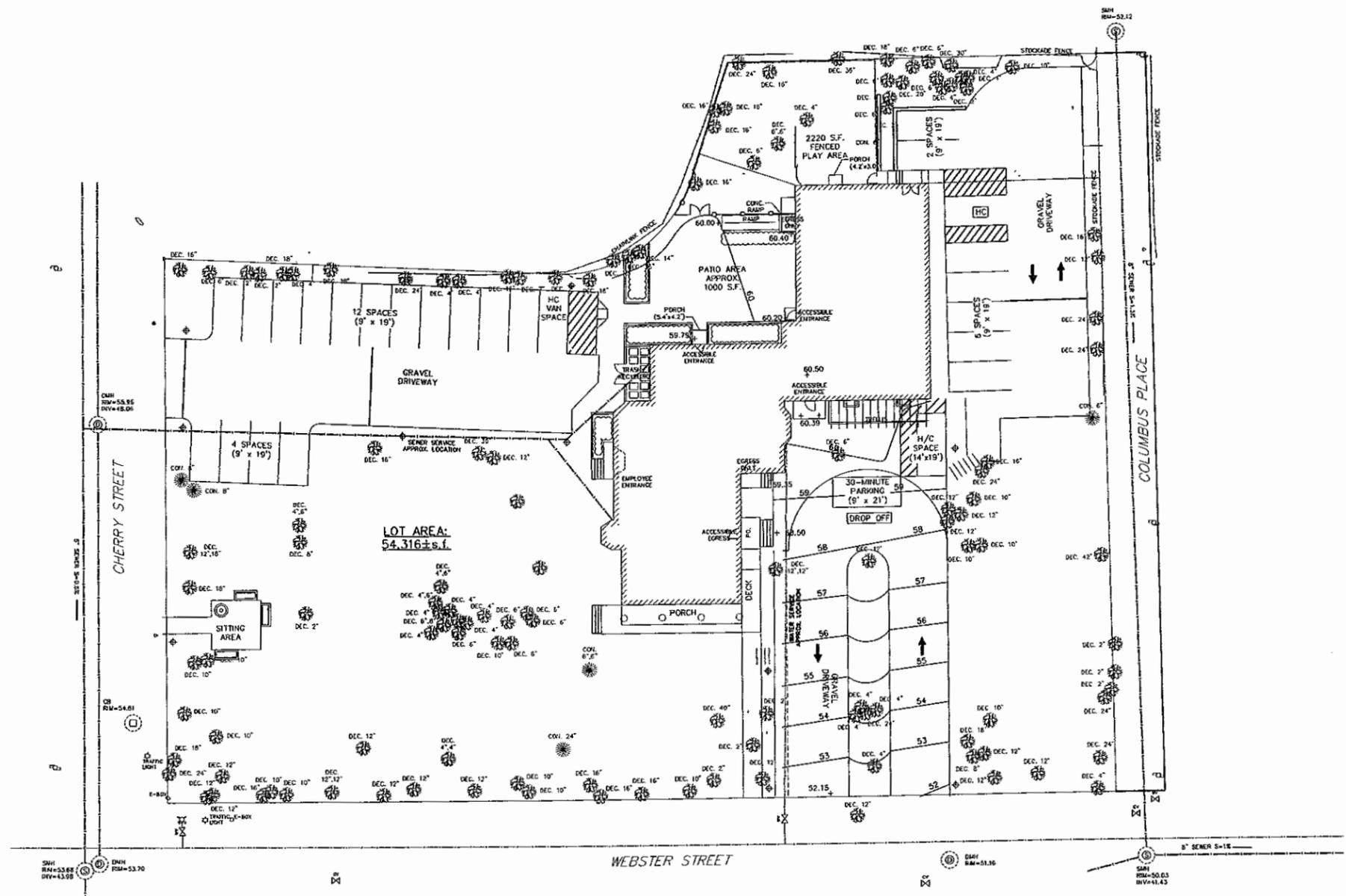
Revised: _____
Date: _____

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Project No.	W35
File	W35DWG4_Esting Plan
X-Ref	
Date Issued	07-29-13
Drawn By	FH
Checked By	DL

PROPOSED
LANDSCAPING PLAN

L1.0



PROPOSED LANDSCAPING PLAN- 26 PARKING SPACES
SCALE: 1/8" = 1'-0"

AAB15- FULL OCCUPANCY (PHASE 2)

LEGEND:

- ACCESSIBLE
- NON-ACCESSIBLE
- NOT OPEN TO PUBLIC/
EMPLOYEE ONLY



Nathaniel Allen House

35 Webster Street
 Newton, MA 02465

Revision	Description

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Project No.	W35
File	W35DW/Ks/Existing Plan
X-Rols	
Date Issued	07-29-13
Drawn By	PH
Checked By	DL



DATE TIME
PROPOSED BASEMENT FLOOR PLAN

1 PROPOSED BASEMENT FLOOR PLAN (5246.10 S.F.)
 A1.0 SCALE: 3/16" = 1'-0"

AAB16- FULL OCCUPANCY (PHASE 2)

A1.0

Nathaniel Allen House

35 Webster Street
Newton, MA 02465

Revision	Date	Description

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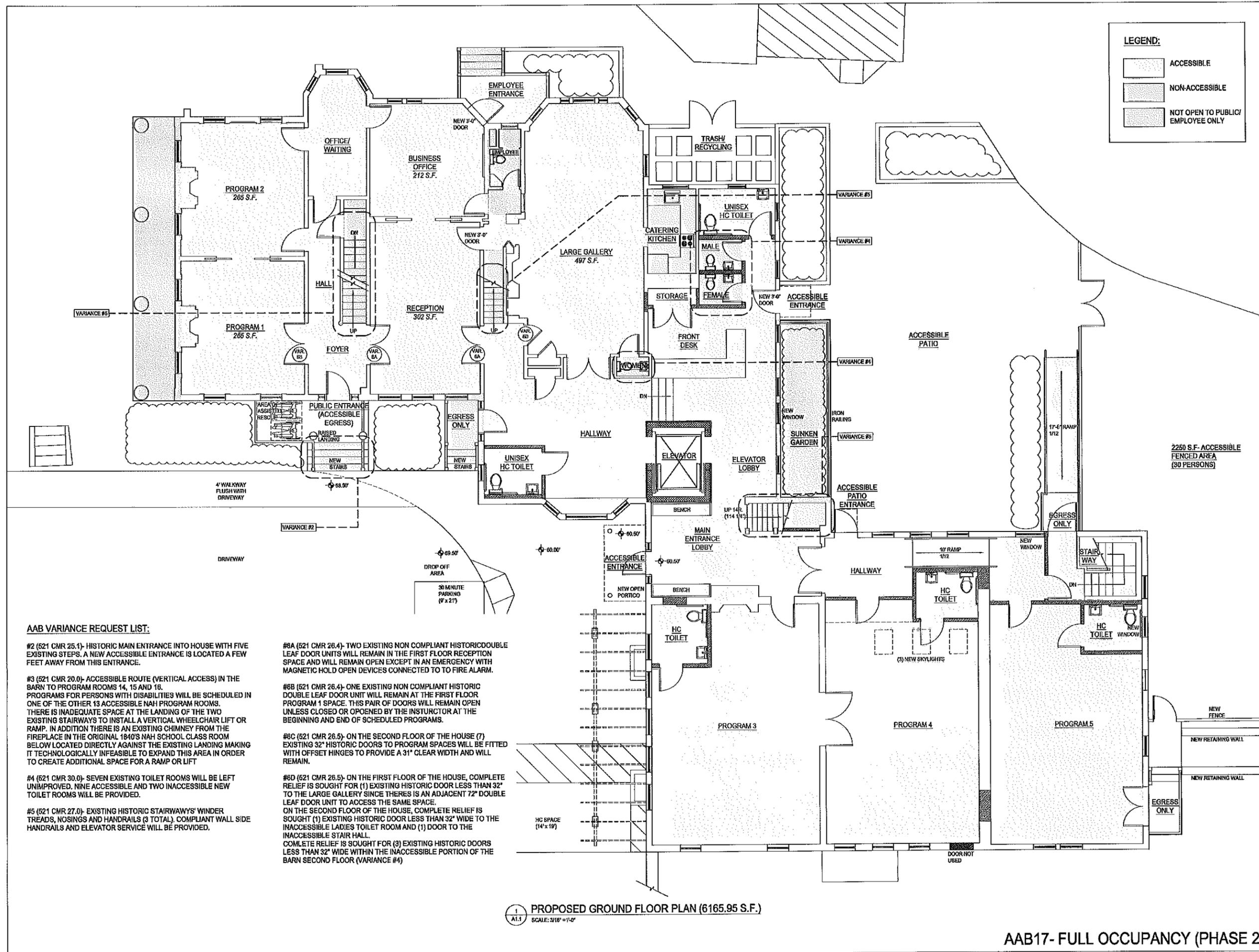
Project No.	W35
File	W35/01W35a/Existing Plan
X-Ref	
Date Issued	07-29-13
Drawn By	PH
Checked By	DL



PROPOSED GROUND FLOOR PLAN

HEET NUMBER

A1.1



AAB VARIANCE REQUEST LIST:

#2 (521 CMR 25.1)- HISTORIC MAIN ENTRANCE INTO HOUSE WITH FIVE EXISTING STEPS. A NEW ACCESSIBLE ENTRANCE IS LOCATED A FEW FEET AWAY FROM THIS ENTRANCE.

#3 (521 CMR 20.0)- ACCESSIBLE ROUTE (VERTICAL ACCESS) IN THE BARN TO PROGRAM ROOMS 14, 15 AND 16. PROGRAMS FOR PERSONS WITH DISABILITIES WILL BE SCHEDULED IN ONE OF THE OTHER 13 ACCESSIBLE NAH PROGRAM ROOMS. THERE IS INADEQUATE SPACE AT THE LANDING OF THE TWO EXISTING STAIRWAYS TO INSTALL A VERTICAL WHEELCHAIR LIFT OR RAMP. IN ADDITION THERE IS AN EXISTING CHIMNEY FROM THE FIREPLACE IN THE ORIGINAL 1840'S NAH SCHOOL CLASS ROOM BELOW LOCATED DIRECTLY AGAINST THE EXISTING LANDING MAKING IT TECHNOLOGICALLY INFEASIBLE TO EXPAND THIS AREA IN ORDER TO CREATE ADDITIONAL SPACE FOR A RAMP OR LIFT

#4 (521 CMR 30.0)- SEVEN EXISTING TOILET ROOMS WILL BE LEFT UNIMPROVED. NINE ACCESSIBLE AND TWO INACCESSIBLE NEW TOILET ROOMS WILL BE PROVIDED.

#5 (521 CMR 27.0)- EXISTING HISTORIC STAIRWAYS' WINDER TREADS, NOSINGS AND HANDRAILS (3 TOTAL). COMPLIANT WALL SIDE HANDRAILS AND ELEVATOR SERVICE WILL BE PROVIDED.

#8A (521 CMR 26.4)- TWO EXISTING NON COMPLIANT HISTORIC DOUBLE LEAF DOOR UNITS WILL REMAIN IN THE FIRST FLOOR RECEPTION SPACE AND WILL REMAIN OPEN EXCEPT IN AN EMERGENCY WITH MAGNETIC HOLD OPEN DEVICES CONNECTED TO TO FIRE ALARM.

#8B (521 CMR 26.4)- ONE EXISTING NON COMPLIANT HISTORIC DOUBLE LEAF DOOR UNIT WILL REMAIN AT THE FIRST FLOOR PROGRAM 1 SPACE. THIS PAIR OF DOORS WILL REMAIN OPEN UNLESS CLOSED OR OPENED BY THE INSTRUCTOR AT THE BEGINNING AND END OF SCHEDULED PROGRAMS.

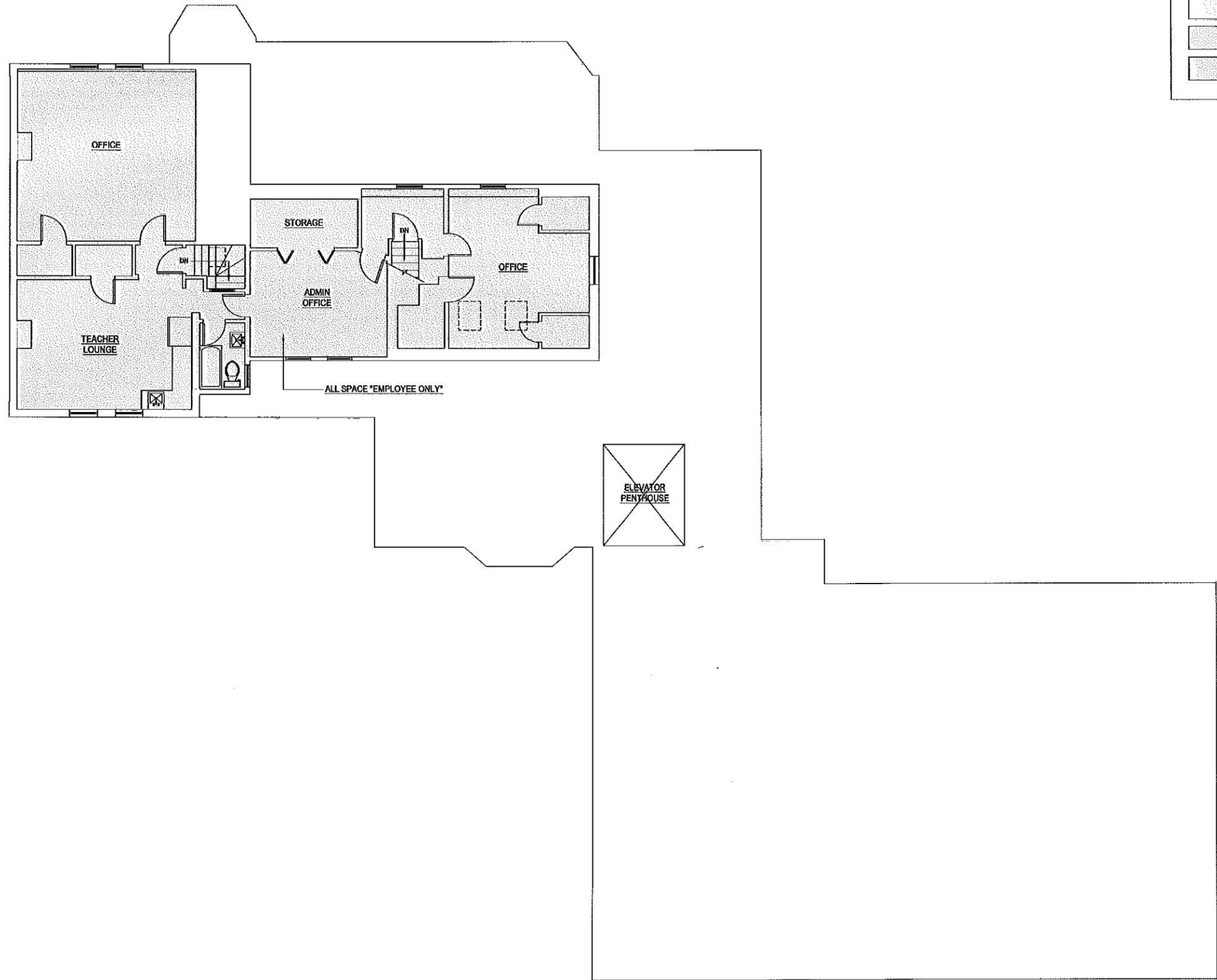
#8C (521 CMR 26.5)- ON THE SECOND FLOOR OF THE HOUSE (7) EXISTING 32\"/>

#8D (521 CMR 26.5)- ON THE FIRST FLOOR OF THE HOUSE, COMPLETE RELIEF IS SOUGHT FOR (1) EXISTING HISTORIC DOOR LESS THAN 32\"/>

1
A1.1
PROPOSED GROUND FLOOR PLAN (6165.95 S.F.)
SCALE: 3/16\"/>

LEGEND:

-  ACCESSIBLE
-  NON-ACCESSIBLE
-  NOT OPEN TO PUBLIC/
EMPLOYEE ONLY



Nathaniel Allen House
 35 Webster Street
 Newton, MA 02465

Revision	Description

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Project No.	W35
File	W35DW35a/Existing Plan
X-Refs	
Date Issued	07-29-13
Drawn By	DB
Checked By	DL

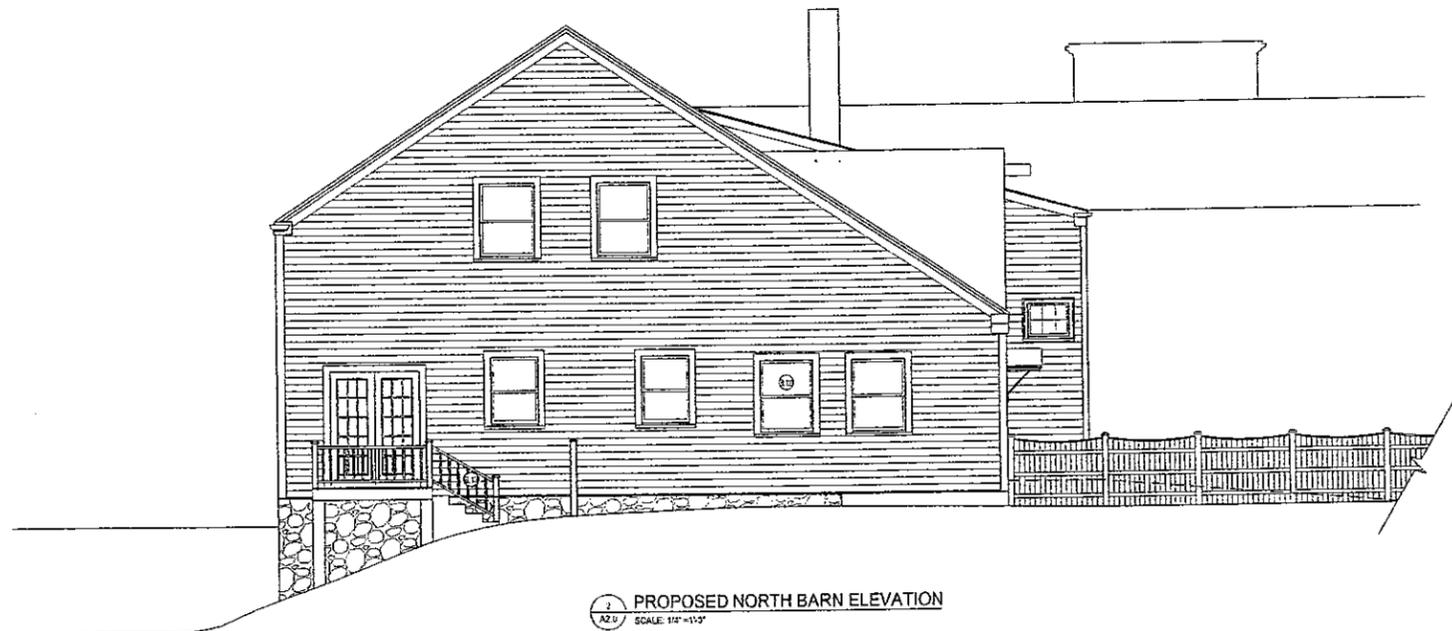


PROPOSED THIRD FLOOR PLAN

1 PROPOSED THIRD FLOOR PLAN (1585.43 S.F.)
 SCALE: 3/16" = 1'-0"



1 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH BARN ELEVATION
SCALE: 1/4" = 1'-0"

HOUSE ALTERATIONS "TYPE A" - PREVIOUSLY APPROVED BY IMC:
A1 NOT USED
A2 REPLACEMENT OF GLAZED GLASS DOOR WITH WOOD DIVIDED LIGHT FRENCH DOOR ON WEST SIDE OF BARN
A3 NOT USED
A4 ADDITION REPLACEMENT IN KIND OF SMALL ROOFS AT SEVERAL ENTRANCES.

HOUSE ALTERATIONS "TYPE B" - NEW FOR IMA PROJECT
B1 IMPROVE/REPAIR ACCESSIBILITY MODIFICATIONS AT (1) EXISTING ENTRANCES THAT ARE ALMOST AT GRADE. INDICATION OF EXISTING WEBSTER STREET DRIVEWAY SIDE ENTRANCE TO CREATE ACCESSIBLE EGRESS INCLUDING AN AREA OF RESCUE.
B2 ADDITION OF ELEVATOR PENTHOUSE TO UPPER FLAT ROOF AREA.
B3 REPLACEMENT OF OPEN PORTICO THAT WAS REMOVED AT EXISTING SOUTH BARN ENTRANCE. REUSE REPAIRED COLUMNS FROM REMOVED SIDE PORCH.
B4 REMOVAL OF PORTIONS OF WRAP AROUND FARMERS PORCH DECK ON WEBSTER STREET SIDE OF HOUSE TO RESTORE ORIGINAL PORTICO COLORWAY. ADDITION: FEATURE OF THE PROPERTY.
B5 REMOVAL OF EXISTING SPIRAL STAIRWAY FROM WEST SIDE OF HOUSE.
B6 REPAIR OF WATER DAMAGE AT NORTH SIDE OF HOUSE FORMER SERVANTS WING AND WEST SIDE OF BARN.
B7 CREATION OF "SHEDDY GARDEN" IN EXISTING AREAWAY TO ALLEVIATE WATER DRAINAGE PROBLEMS.
B8 ADDITION OF FOUR WINDOWS TO BASEMENT AND NEW GUARD RAIL AT SUNSHINE GARDEN AREAWAY.
B9 ADDITION OF COMPACT HYDRAULIC AT (1) EXISTING EXTERIOR STAIRWAYS.
B10 REMOVE 1950'S NON-ORIGINAL FIRST FLOOR DOOR AT NORTH SIDE OF BARN AND REPLACE WITH NEW WINDOW.
B11 REMOVE 1950'S NON-ORIGINAL FIRST FLOOR DOOR AT NORTH SIDE OF BARN AND REPLACE WITH NEW WINDOW.
B12 REMOVE 1950'S NON-ORIGINAL FIRST FLOOR DOOR AT NORTH SIDE OF BARN AND REPLACE WITH NEW WINDOW.
B13 REMOVE HAZARDOUS DOOR AT FIRST FLOOR EAST SIDE OF BARN.
B14 REMOVE NON-ORIGINAL SIDE PORCH AT WEST SIDE OF HOUSE TO RESTORE ORIGINAL PORTICO COLORWAY. EXISTING NON-ORIGINAL 2ND FLOOR EXIT ONTO PORCH TO BE REPLACED WITH NEW WINDOW AS ORIGINAL.
B15 REMOVAL OF EXISTING DAYLIGHT AND ADDITION OF 3 NEW WINDOWS AT WEST BARN ROOF.
B16 ADDITION OF RAMP TO ACCESSIBLE EGRESS ENTRY TO BE SCREENED BY PLANTING AND FENCING.
B17 SAVE COLUMNS FOR REUSE AT NEW SOUTH BARN ENTRANCE PORTICO. REPAIR COLUMNS AS NEEDED WITH EPOXY FILLERS.
B18 ADDITION OF NEW WINDOWS AND COVERED ACCESSIBLE ENTRY/EGRESS AT LOWER LEVEL OF BARN EAST SIDE.

ADDITIONAL REPAIR WORK:
REPAIRS REQUIRED TO THE EXTERIOR OF THE BUILDING WILL BE COMPLETED "IN PLACE" WHERE POSSIBLE. LOCATIONS WHERE DAMAGE IS EXTENSIVE AND AN "IN PLACE" APPROACH IS NOT POSSIBLE WILL BE COMPLETED WITH A "REPLACEMENT IN KIND" APPROACH.
IP REPAIR DAMAGED ELEMENTS "IN PLACE" WITH SIMILAR MATERIALS.
IKK REPLACE IN KIND - USING IDENTICAL MATERIALS TO THE EXISTING STRUCTURE.

WINDOW NOTES:
WINDOWS SHALL BE REPAIRED ACCORDING TO SEVERAL LEVELS OF REPAIR AND REPLACEMENT AFTER A THOROUGH SURVEY AS FOLLOWS:

- LEVEL 1: REPLACE BROKEN OR MISSING COMPONENTS SUCH AS GLASS, IMPRES, PALLEYS AND WEPPITS.
- LEVEL 2: REPLICATE FAILED SASH AND THEN REPLACE MISSING COMPONENTS AS LISTED IN LEVEL 1.
- LEVEL 3: REPAIR IN PLACE ALL ROTTING SILLS AND CASING WITH EPOXY FILLERS. REPLICATE FAILED SASH AND REPLACE MISSING COMPONENTS LISTED IN LEVEL 1.

NEW WINDOWS WILL BE PAINTED WOOD. SIMULATED TRUE DIVIDED LIGHT. INSULATING WINDOWS WITH MILLION DIMENSIONS MATCHING THE EXISTING WINDOWS AS CLOSELY AS POSSIBLE. WINDOWS SHALL BE FROM JELD-WEN, PELLA OR MARVAL.

DOOR NOTES:
ALL ENTRANCE DOORS SHALL BE REPLACED WITH NEW UNITS WITH COMPLIANT THRESHOLDS. NEW DOORS SHALL BE REPLACED WITH PAINTED WOOD "REPLICA" UNITS BASED ON THE EXISTING CONDITIONS. EXISTING UNITS WITH GLAZING/SPELIGHS SHALL BE REPLACED WITH PAINTED WOOD DOORS WITH SIMULATED TRUE DIVIDED LIGHT. INSULATING DOORS WITH MILLION DIMENSIONS MATCHING THE EXISTING DOORS AS CLOSELY AS POSSIBLE. DOORS SHALL BE FROM JELD-WEN, PELLA OR MARVAL. COMPLIANT LEVER DOOR HARDWARE SHALL BE INSTALLED AT ALL DOORS IN PUBLIC AREAS.



DESIGNS

Architecture - Interior Design
231 Sutton Street, Suite 1B
North Andover, MA 02845
978-683-3428

ISSUES

Number	Date	Description
1	05/08/2013	INDUSTRIAL

Revisions

Number	Date	Description
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Checked by: LFB

Drawn by: LFB

Nathaniel Allen
House
35 Webster Street
Newton, MA 02465

PROPOSED NORTH
ELEVATIONS

Draw'n Scale:
1/4" = 1'-0"

Project Number:
13002

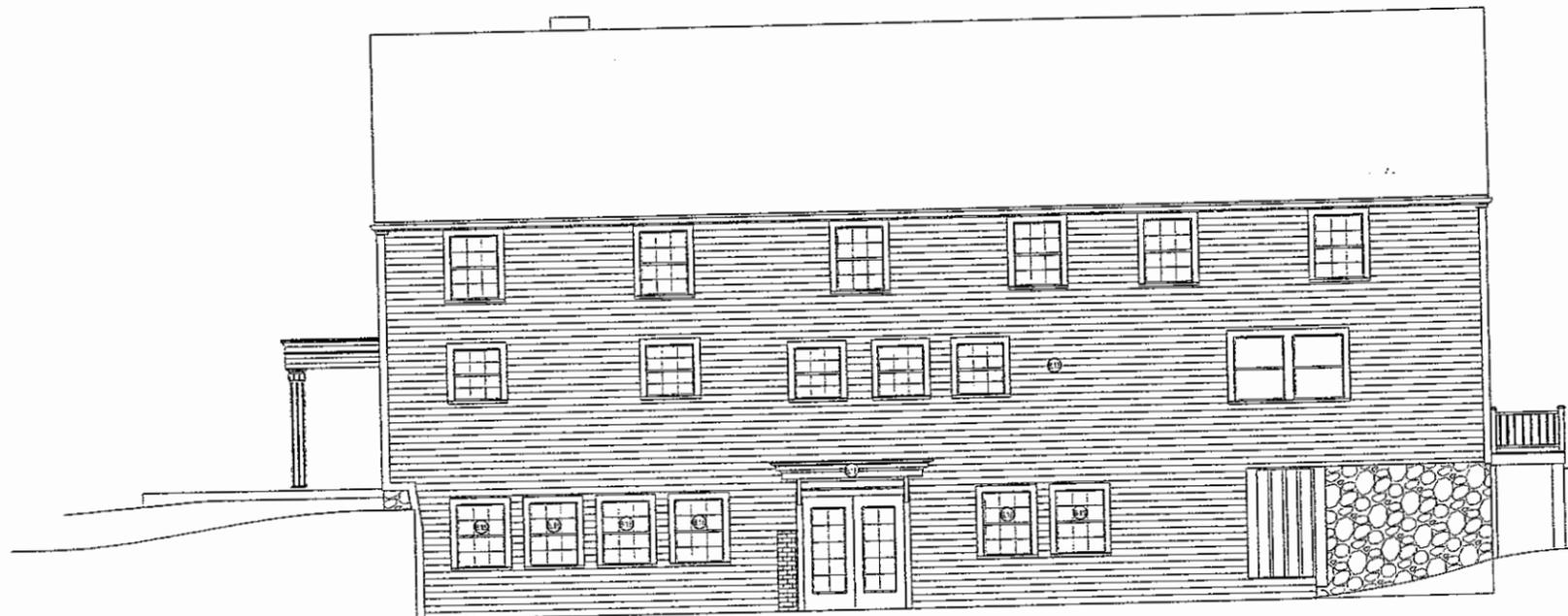
Date Issued:
02.27.13

AAB20- FULL OCCUPANCY (PHASE 2)

A2.0



1
A21
PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



2
A21
PROPOSED EAST BARN ELEVATION
SCALE: 1/4" = 1'-0"

- HOUSE ALTERATIONS "TYPE A" - PREVIOUSLY APPROVED BY AHC
- A.1 NOT USED
 - A.2 REPLACEMENT OF SLIDING GLASS DOOR WITH WOOD DIVIDED LIGHT PFECH DOOR ON WEST SIDE OF BARN, NOT USED
 - A.3 NOT USED
 - A.4 ADDITION/REPLACEMENT IN KIND OF SMALL ROOFS AT SEVERAL ENTRANCES.
- HOUSE ALTERATIONS "TYPE B" - NEW FOR ICA PROJECT
- B.1 MINOR HANDICAP ACCESSIBILITY MODIFICATIONS AT (3) EXISTING BARRIERS THAT ARE AT MOST AT GRADE
 - B.2 MODIFICATION OF EXISTING WEBSTER STREET DRIVEWAY SIDE ENTRANCE TO CREATE ACCESSIBLE EGRESS INCLUDING AN AREA OF RESCUE
 - B.3 ADDITION OF ELEVATOR FENTHOUSE TO UPPER FLAT ROOF AREA
 - B.4 REPLACEMENT OF OPEN PORTICO THAT WAS REMOVED AT EXISTING SOUTH BARN ENTRANCE. REUSE REPAIRED COLUMNS FROM REMOVED SIDE PORCH
 - B.5 REMOVAL OF PORTIONS OF WRAP AROUND "FARMER'S PORCH" DECK ON WESTER STREET SIDE OF HOUSE TO RESTORE ORIGINAL PORTICO COLONNADE, A DEFINING FEATURE OF THE PROPERTY.
 - B.6 REMOVAL OF EXISTING SPIRAL STAIRWAY FROM WEST SIDE OF HOUSE
 - B.7 REPAIR OF WATER DAMAGE AT NORTH SIDE OF HOUSE FORMER SERVANTS' WING AND WEST SIDE OF BARN
 - B.8 CREATION OF "SHIMMY GARDEN" IN EXISTING AREAWAY TO ALLEVIATE WATER DRAINAGE PROBLEMS.
 - B.9 ADDITION OF FOUR WINDOWS TO BASEMENT AND NEW GUARD RAIL AT SHIMMY GARDEN AREAWAY
 - B.10 ADDITION OF COMPLIANT HANDRAILS AT (2) EXISTING EXTERIOR STAIRWAYS
 - B.11 REMOVE 1900'S NON-OFFICIAL FIRST FLOOR DOOR AT NORTH SIDE OF FORMER SERVANTS' WING AND REPLACE WITH NEW WINDOW
 - B.12 REMOVE 1900'S NON-OFFICIAL FIRST FLOOR DOOR AT NORTH SIDE OF BARN AND REPLACE WITH NEW WINDOW
 - B.13 REMOVE HAZARDOUS DOOR AT FIRST FLOOR EAST SIDE OF BARN
 - B.14 REMOVE NON-OFFICIAL SIDE PORCH AT WEST SIDE OF HOUSE TO RESTORE ORIGINAL PORTICO COLONNADE. EXISTING (NON-OFFICIAL) 2ND FLOOR EXT OUTD PORCH TO BE REPLACED WITH NEW WINDOW AS ORIGINAL.
 - B.15 REMOVAL OF EXISTING SKYLIGHT AND ADDITION OF 3 NEW SKYLIGHTS AT WEST BARN ROOF.
 - B.16 ADDITION OF RAMP TO ACCESSIBLE EGRESS ENTRY TO BE SCREENED BY PLASTERING AND FENCING.
 - B.17 SAVE COLUMNS FOR REUSE AT NEW SOUTH BARN ENTRANCE PORTICO. REPAIR COLUMNS AS REQ'D WITH SPOXY FILLERS.
 - B.18 ADDITION OF NEW WINDOWS AND COVERED ACCESSIBLE ENTRY/EGRESS AT LOWER LEVEL OF BARN EAST SIDE

ADDITIONAL REPAIR WORK:
REPAIRS REQUIRED TO THE EXTERIOR OF THE BUILDING WILL BE COMPLETED "IN PLACE" WHERE POSSIBLE. LOCATIONS WHERE DAMAGE IS EXTENSIVE AND "IN PLACE" APPROACH IS NOT POSSIBLE WILL BE COMPLETED WITH A "REPLACEMENT IN KIND" APPROACH
R* REPAIR DAMAGED ELEMENTS "IN PLACE" WITH SIMILAR MATERIALS.
R#K REPLACE IN KIND - USING IDENTICAL MATERIALS TO THE EXISTING STRUCTURE.

WINDOW NOTES:
WINDOWS SHALL BE REPAIRED ACCORDING TO SEVERAL LEVELS OF REPAIR AND REPLACEMENT AFTER A THOROUGH SURVEY AS FOLLOWS:
LEVEL 1: REPLACE BROKEN OR MISSING COMPONENTS SUCH AS GLASS, ROPES, PALLEYS AND WEIGHTS.
LEVEL 2: REPLICATE PAILED SASH AND THEN REPLACE MISSING COMPONENTS AS LISTED IN LEVEL 1.
LEVEL 3: REPAIR/REPLACE ALL ROTTING SELLS AND CASING WITH EPOXY FILLERS. REPLICATE PAILED SASH AND REPLACE MISSING COMPONENTS LISTED IN LEVEL 1.

NEW WINDOWS WILL BE PAINTED WOOD, SIMULATED TRUE DIVIDED LIGHT, INSULATING WINDOWS WITH MULTIGLASS DIMENSIONS MATCHING THE EXISTING WINDOWS AS CLOSELY AS POSSIBLE. WINDOWS SHALL BE FROM JELD-WEN, PELLA OR MARVIN.

DOOR NOTES:
ALL ENTRANCE DOORS SHALL BE REPLACED WITH NEW UNITS WITH COMPLIANT THRESHOLDS. NEW DOORS SHALL BE REPLACED WITH PAINTED WOOD "REPLICA" UNITS BASED ON THE EXISTING CONDITIONS. EXISTING UNITS WITH GLASS/SKYLIGHTS SHALL BE REPLACED WITH PAINTED WOOD DOORS WITH SIMULATED TRUE DIVIDED LIGHT. INSULATING DOORS WITH MULTIGLASS DIMENSIONS MATCHING THE EXISTING DOORS AS CLOSELY AS POSSIBLE. DOORS SHALL BE FROM JELD-WEN, PELLA OR MARVIN. COMPLIANT LEVER DOOR HARDWARE SHALL BE INSTALLED AT ALL DOORS IN PUBLIC AREAS.



Number	Date	Description
1	02/28/2013	AHC SUBMISSION

Number	Date	Description
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Created by: LFG
Drawn by: LFG

Nathaniel Allen
House
35 Webster Street
Newton, MA 02465

PROPOSED EAST
ELEVATIONS

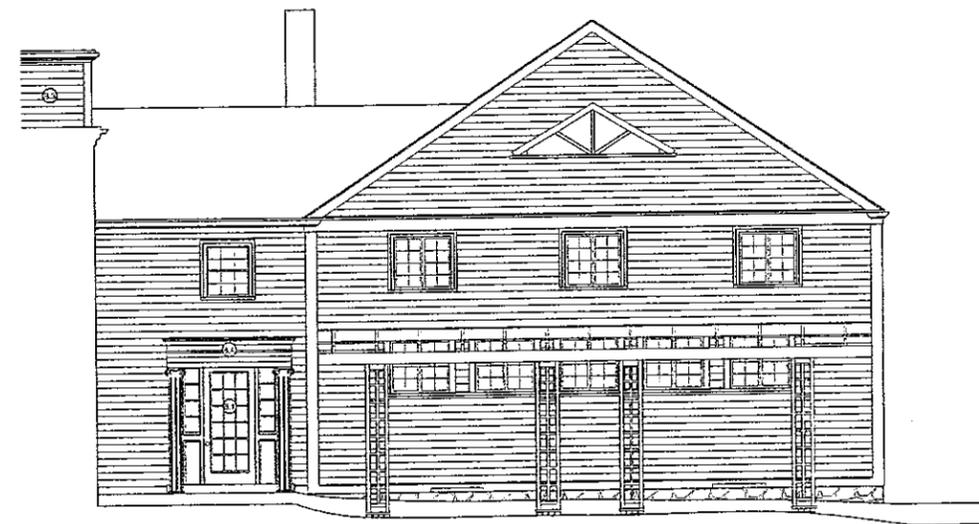
Drawing Scale:
1/4" = 1'-0"
Project Number:
12001
Date Issued:
02.28.13

AAB21- FULL OCCUPANCY (PHASE 2)

A2.1



PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH BARN ELEVATION
SCALE: 1/4" = 1'-0"

- HOUSE ALTERATIONS "TYPE A" - PREVIOUSLY APPROVED BY NHC
- A.1 NOT USED
 - A.2 REPLACEMENT OF SLIDING GLASS DOOR WITH WOOD DIVIDED LIGHT FRENCH DOOR ON WEST SIDE OF BARN
 - A.3 NOT USED
 - A.4 ADDITIONAL REPLACEMENT IN KIND OF SMALL HOOKS AT SEVERAL ENTRANCES
- HOUSE ALTERATIONS "TYPE B" - NEW FOR NCA PROJECT
- B.1 WALKER HANDICAP ACCESSIBILITY MODIFICATIONS AT (1) EXISTING ENTRANCES THAT ARE ALMOST AT GRADE, (2) ADDITION OF NEW ENTRANCE TO WEST SIDE OF HOUSE TO CREATE ACCESSIBLE EGRESS INCLUDING AN AREA OF RESCUE, (3) ADDITION OF ELEVATOR PORCH TO UPPER FLAT ROOF AREA
 - B.2 REPLACEMENT OF OPEN PORTICO THAT WAS REMOVED AT EXISTING SOUTH BARN ENTRANCE, REUSE REPAIRED COLUMNS FROM REMOVED SIDE PORCH
 - B.3 REMOVAL OF PORTIONS OF WRAP AROUND "FARMERS PORCH" DECK ON WEBSTER STREET SIDE OF HOUSE TO RESTORE ORIGINAL PORTICO COLONNADA A DEFINING FEATURE OF THE PROPERTY
 - B.4 REMOVAL OF EXISTING SPIRAL STAIRWAY FROM WEST SIDE OF HOUSE
 - B.5 REPAIR OF WATER DAMAGE AT NORTH SIDE OF HOUSE FORMER SERVANTS WING AND WEST SIDE OF BARN
 - B.6 CREATION OF "SUNSHEN GARDEN" IN EXISTING AREAWAY TO ALLEVIATE WATER DRAINAGE PROBLEMS
 - B.7 ADDITION OF FOUR WINDOWS TO BASEMENT AND NEW GUARD RAIL AT SUNSHEN GARDEN AREAWAY
 - B.8 ADDITION OF COMPLIANT HANDRAILS AT (1) EXISTING EXTERIOR STAIRWAYS
 - B.9 REMOVE 1930S NON-ORIGINAL FIRST FLOOR DOOR AT NORTH SIDE OF FORMER SERVANTS WING AND REPLACE WITH NEW WINDOW
 - B.10 REMOVE 1960S NON-ORIGINAL FIRST FLOOR DOOR AT NORTH SIDE OF BARN AND REPLACE WITH NEW WINDOW
 - B.11 REMOVE HAZARDOUS DOOR AT FIRST FLOOR EAST SIDE OF BARN
 - B.12 REMOVE NON-ORIGINAL SIDE PORCH AT WEST SIDE OF HOUSE TO RESTORE ORIGINAL PORTICO COLONNADA, EXISTING NON-ORIGINAL SECOND FLOOR EXT. ONTO PORCH TO BE REPLACED WITH NEW WINDOW AS ORIGINAL
 - B.13 REMOVAL OF EXISTING 2X4 LIGHT AND ADDITION OF A NEW SPOUTS AT WEST BARN ROOF
 - B.14 ADDITION OF RAMP TO ACCESSIBLE EGRESS ENTRY TO BE SCREENED BY PLANTING AND FENCING
 - B.15 SAME CASINGS FOR REUSE AT NEW SOUTH BARN ENTRANCE PORTICO, REPAIR COLUMNS AS REED WITH EPOXY FILLERS
 - B.16 ADDITION OF NEW WINDOWS AND COVERED ACCESSIBLE ENTRY PORCH AT LOWER LEVEL OF BARN EAST SIDE

ADDITIONAL REPAIR WORK:
REPAIRS REQUIRED TO THE EXTERIOR OF THE BUILDING WILL BE COMPLETED "IN PLACE" WHERE POSSIBLE. LOCATIONS WHERE DAMAGE IS EXTENSIVE AND AN "IN PLACE" APPROACH IS NOT POSSIBLE WILL BE COMPLETED WITH A "REPLACEMENT IN KIND" APPROACH.
R1 REPAIR DAMAGED ELEMENTS "IN PLACE" WITH SIMILAR MATERIALS.
R2 REPLACE IN KIND - USING IDENTICAL MATERIALS TO THE EXISTING STRUCTURE.

WINDOW NOTES:
WINDOWS SHALL BE REPAIRED ACCORDING TO SEVERAL LEVELS OF REPAIR AND REPLACEMENT AFTER A THOROUGH SURVEY AS FOLLOWS:

- LEVEL 1: REPLACE BROKEN OR MISSING COMPONENTS SUCH AS GLASS, SPINDS, PULLEYS AND WEIGHTS
- LEVEL 2: REPLICATE FAILED SASH AND THEN REPLACE MISSING COMPONENTS AS LISTED IN LEVEL 1
- LEVEL 3: REPAIR IN PLACE ALL ROTTING SAILS AND CASING WITH EPOXY FILLERS, REPLICATE FAILED SASH AND REPLACE MISSING COMPONENTS LISTED IN LEVEL 1

NEW WINDOWS WILL BE PAINTED WOOD, SIMULATED TRUE DIVIDED LIGHT, INSULATING WINDOWS WITH MILLION DIMENSIONS MATCHING THE EXISTING WINDOWS AS CLOSELY AS POSSIBLE. WINDOWS SHALL BE FROM JELD-WEN, PELLA OR MARVIN.

DOOR NOTES:
ALL ENTRANCE DOORS SHALL BE REPLACED WITH NEW UNITS WITH COMPLIANT THRESHOLDS. NEW DOORS SHALL BE REPLACED WITH PAINTED WOOD "REPLICA" UNITS BASED ON THE EXISTING CONSTRUCTION. EXISTING UNITS WITH GLAZING SIDELIGHTS SHALL BE REPLACED WITH PAINTED WOOD DOORS WITH SIMILAR TRUE DIVIDED LIGHT, INSULATING DOORS WITH MILLION DIMENSIONS MATCHING THE EXISTING DOORS AS CLOSELY AS POSSIBLE. DOORS SHALL BE FROM JELD-WEN, PELLA OR MARVIN. COMPLIANT LEVER DOOR HARDWARE SHALL BE INSTALLED AT ALL DOORS IN PUBLIC AREAS.



Number	Date	Issue Person
1	02/08/2013	MICHELE MESSORI

Number	Date	Description
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Created by: LIG
Drawn by: LIG

Nathaniel Allen House
35 Webster Street
Newton, MA 02465

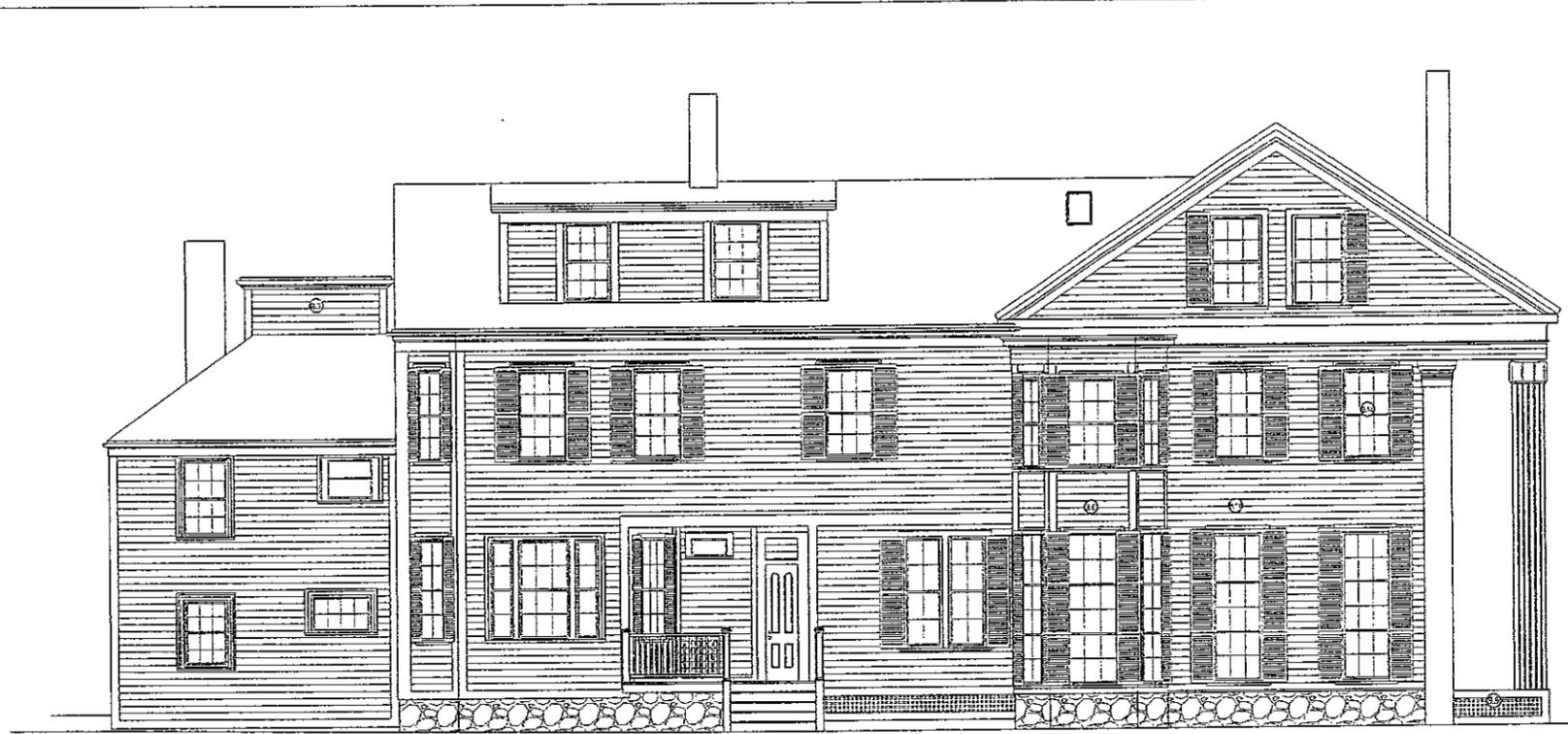
PROPOSED SOUTH ELEVATIONS

Drawing Scale:
1/4" = 1'-0"
Project Number:
13001

Date Issued:
02.28.13

AAB22- FULL OCCUPANCY (PHASE 2)

A2.2



1
A2.3
PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



2
A2.3
PROPOSED WEST BARN ELEVATION
SCALE: 1/4" = 1'-0"

- HOUSE ALTERATIONS "TYPE A" - PREVIOUSLY APPROVED BY ENR:
- A.1 NOT USED
 - A.2 REPLACEMENT OF SLIDING GLASS DOOR WITH WOOD DIVIDED LIGHT FRENCH DOOR ON WEST SIDE OF BARN, NOT USED
 - A.3 NOT USED
 - A.4 ADDITION REPLACEMENT WINDOW OF SMALL ROOFS AT SEVERAL ENTRANCES
- HOUSE ALTERATIONS "TYPE B" - NEW FOR NCA PROJECT
- B.1 WINDOW HANDICAP ACCESSIBILITY MODIFICATIONS AT (1) EXISTING ENTRANCES THAT ARE ALMOST AT GRADE.
 - B.2 MODIFICATION OF EXISTING WEBSTER STREET DRIVEWAY SIDE ENTRANCE TO CREATE ACCESSIBLE EGRESS INCLUDING AN AREA OF RESCUE.
 - B.3 ADDITION OF ELEVATOR FENTHOUSE TO UPPER FLAT ROOF AREA.
 - B.4 REPLACEMENT OF OPEN PORTICO THAT WAS REMOVED AT EXISTING SOUTH BARN ENTRANCE. REUSE REPAIRED COLUMNS FROM REMOVED SIDE PORCH.
 - B.5 REMOVAL OF PORTIONS OF WRAP AROUND FARMERS PORCH DECK ON WESTER STREET SIDE OF HOUSE TO RESTORE ORIGINAL PORTICO COLONNADE. A DEFINING FEATURE OF THE PROPERTY.
 - B.6 REMOVAL OF EXISTING SPIRAL STAIRWAY FROM WEST SIDE OF HOUSE.
 - B.7 REPAIR OF WATER DAMAGE AT NORTH SIDE OF HOUSE FORMER SERVANTS WING AND WEST SIDE OF BARN. CREATION OF "SERVANTS GARAGE" BY EXISTING DRIVEWAY TO ALLEVIATE WATER DRAINAGE PROBLEMS.
 - B.8 ADDITION OF FOUR WINDOWS TO BASEMENT AND NEW GUMBO HALL AT SUNKEN GARDEN AREA WAY.
 - B.9 ADDITION OF COPLANAR HANDRAILS AT (2) EXISTING EXTERIOR STAIRWAYS.
 - B.10 REMOVE 1920S NON-ORIGINAL FIRST FLOOR DOOR AT NORTH SIDE OF FORMER SERVANTS WING AND REPLACE WITH NEW WINDOW.
 - B.11 REMOVE 1920S NON-ORIGINAL FIRST FLOOR DOOR AT NORTH SIDE OF BARN AND REPLACE WITH NEW WINDOW.
 - B.12 REMOVE HAZARDOUS DOOR AT FIRST FLOOR EAST SIDE OF BARN.
 - B.14 REMOVE NON-ORIGINAL SIDE PORCH AT WEST SIDE OF HOUSE TO RESTORE ORIGINAL PORTICO COLONNADE. EXISTING (NON-ORIGINAL) 2ND FLOOR EAST GAITO PORCH TO BE REPLACED WITH LEAD WINDOW AS ORIGINAL.
 - B.15 REMOVAL OF EXISTING SKYLIGHT AND ADDITION OF 3 NEW SKYLIGHTS AT WEST BARN ROOF.
 - B.16 ADDITION OF RAMP TO ACCESSIBLE EGRESS ENTRY TO BE SPECIFIED BY PLANTING AND FENCING.
 - B.17 SAVE COLUMNS FOR REUSE AT NEW SOUTH BARN ENTRANCE PORTICO. REPAIR COLUMNS AS REQ'D WITH EPOXY FILLERS.
 - B.18 ADDITION OF NEW WINDOWS AND COVERED ACCESSIBLE ENTRY/EGRESS AT LOWER LEVEL OF BARN EAST SIDE.

ADDITIONAL REPAIR WORK:
REPAIRS REQUIRED TO THE EXTERIOR OF THE BUILDINGS WILL BE COMPLETED "IN PLACE" WHERE POSSIBLE. LOCATIONS WHERE DAMAGE IS EXTENSIVE AND AN "IN PLACE" APPROACH IS NOT POSSIBLE WILL BE COMPLETED WITH A "REPLACEMENT IN KIND" APPROACH.
R* REPAIR DAMAGED ELEMENTS "IN PLACE" WITH SIMILAR MATERIALS.
R** REPLACE IN KIND - USING IDENTICAL MATERIALS TO THE EXISTING STRUCTURE.

WINDOW NOTES:
WINDOWS SHALL BE REPAIRED ACCORDING TO SEVERAL LEVELS OF REPAIR AND REPLACEMENT AFTER A THOROUGH SURVEY AS FOLLOWS:
LEVEL 1: REPLACE BROKEN OR MISSING COMPONENTS SUCH AS GLASS, PILES, RALES AND WEIGHTS.
LEVEL 2: REPLICATE FAILED BASH AND THEN REPLACE MISSING COMPONENTS AS LISTED IN LEVEL 1.
LEVEL 3: REPAIR IN PLACE ALL ROTTING SILES AND CASING WITH EPOXY FILLERS, REPLICATE FAILED BASH AND REPLACE MISSING COMPONENTS LISTED IN LEVEL 1.

NEW WINDOWS WILL BE PAINTED WOOD, SIMULATED TRUE DIVIDED LIGHT, INSULATING WINDOWS WITH MATCHING DIMENSIONS MATCHING THE EXISTING WINDOWS AS CLOSELY AS POSSIBLE. WINDOWS SHALL BE FROM JELD-WEN, PELLA OR MARVIN.

DOOR NOTES:
ALL ENTRANCE DOORS SHALL BE REPLACED WITH NEW UNITS WITH COMPLIANT THRESHOLDS. NEW DOORS SHALL BE REPLACED WITH PAINTED WOOD "REPLICA" UNITS BASED ON THE EXISTING CONDITIONS. EXISTING UNITS WITH GLAZING/SKYLIGHTS SHALL BE REPLACED WITH PAINTED WOOD DOORS WITH SIMULATED TRUE DIVIDED LIGHT, INSULATING DOORS WITH MATCHING DIMENSIONS MATCHING THE EXISTING DOORS AS CLOSELY AS POSSIBLE. DOORS SHALL BE FROM JELD-WEN, PELLA OR MARVIN. COMPLIANT LEVER DOOR HARDWARE SHALL BE INSTALLED AT ALL DOORS IN PUBLIC AREAS.



Number	Date	Description
1	05/08/2015	INFO SUBMISSION

Number	Date	Description
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Checked by: LND
Drawn by: LND

Nathaniel Allen House
35 Webster Street
Newton, MA 02465

PROPOSED WEST ELEVATIONS

Drawing Scale: 1/4" = 1'-0"

Project Number: 13001

Date Issued: 02/23/15

AAB23- FULL OCCUPANCY (PHASE 2)

A2.3



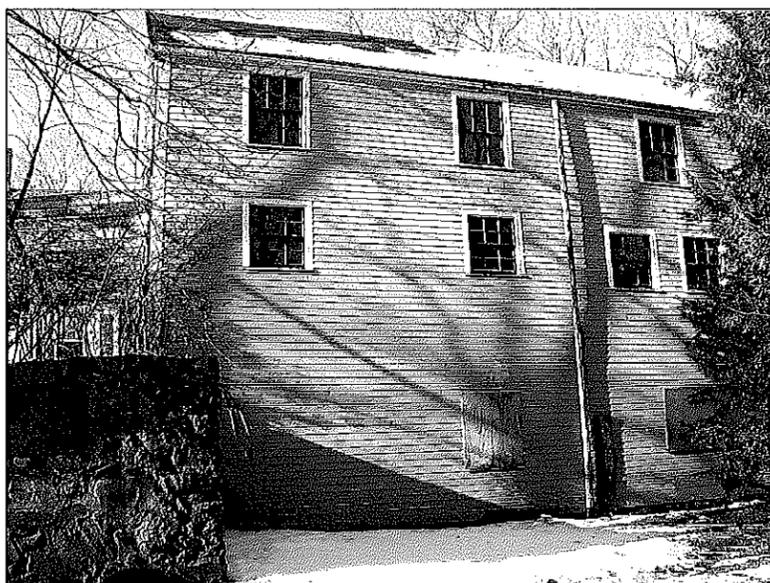
SOUTH ELEVATION- MAIN HOUSE



EAST ELEVATION- MAIN HOUSE



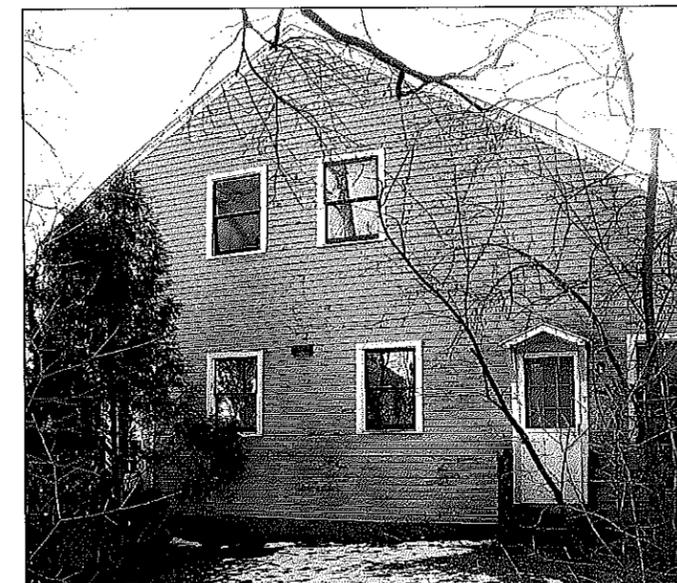
SOUTH ELEVATION- BARN



EAST ELEVATION- BARN



EAST ELEVATION- BARN



NORTH ELEVATION- BARN



WEST ELEVATION- BARN



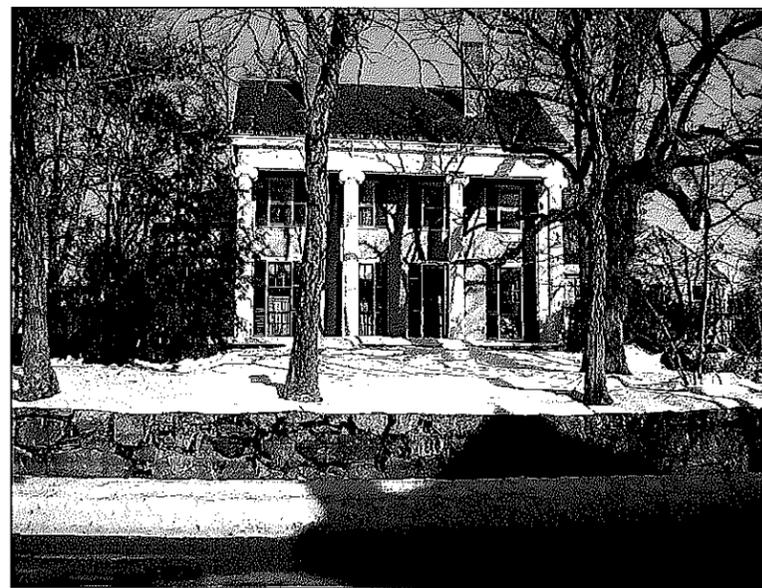
NORTH ELEVATION- SERVANTS' AREA



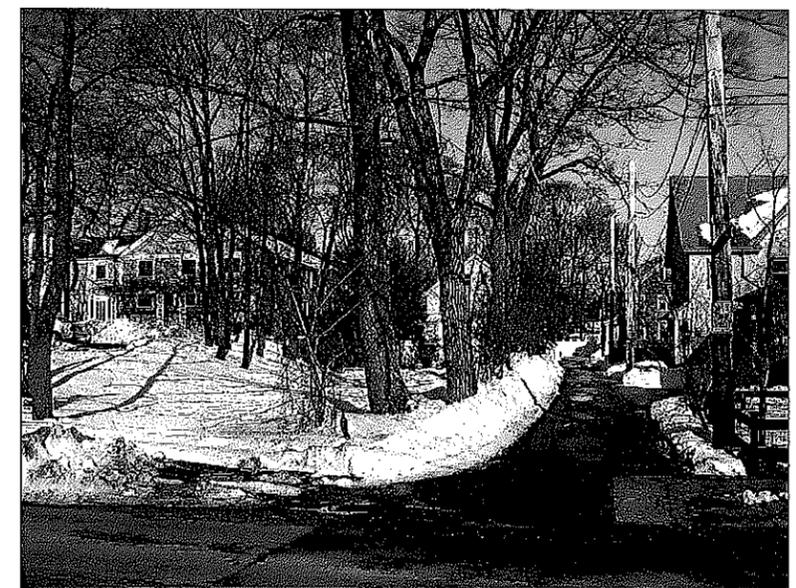
WEST ELEVATION- MAIN HOUSE



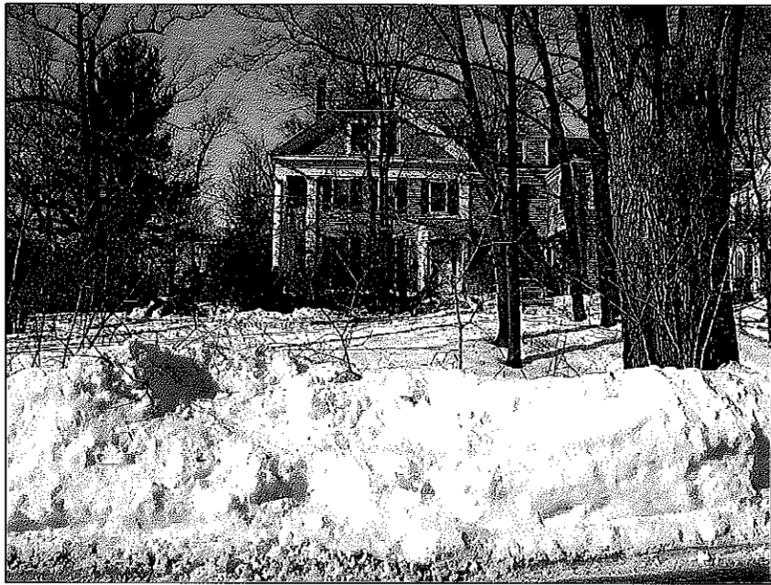
VIEW FROM WEBSTER STREET



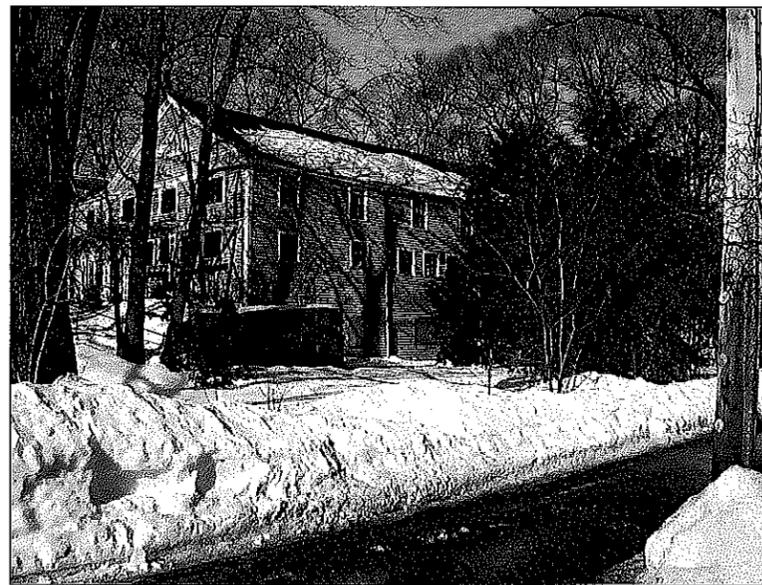
VIEW FROM WEBSTER STREET



VIEW FROM WEBSTER STREET



VIEW FROM COLUMBUS PLACE



VIEW FROM COLUMBUS PLACE



VIEW FROM COLUMBUS PLACE



VIEW FROM CHERRY STREET



VIEW FROM CHERRY STREET



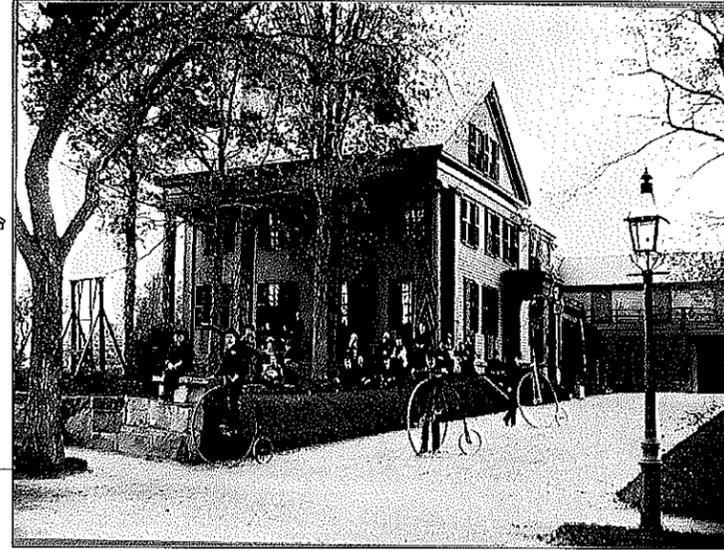
VIEW FROM CHERRY STREET



HISTORIC PHOTO



PROPOSED WEST ELEVATION



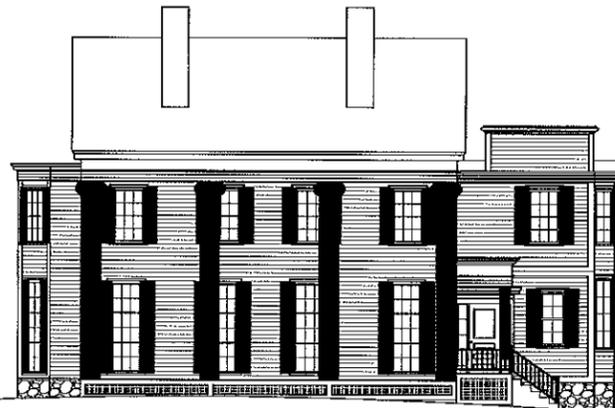
HISTORIC PHOTO



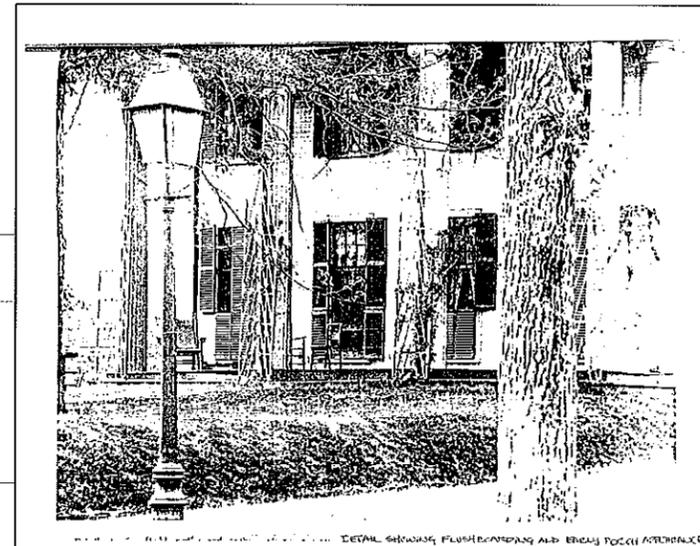
PROPOSED EAST ELEVATION



HISTORIC PHOTO



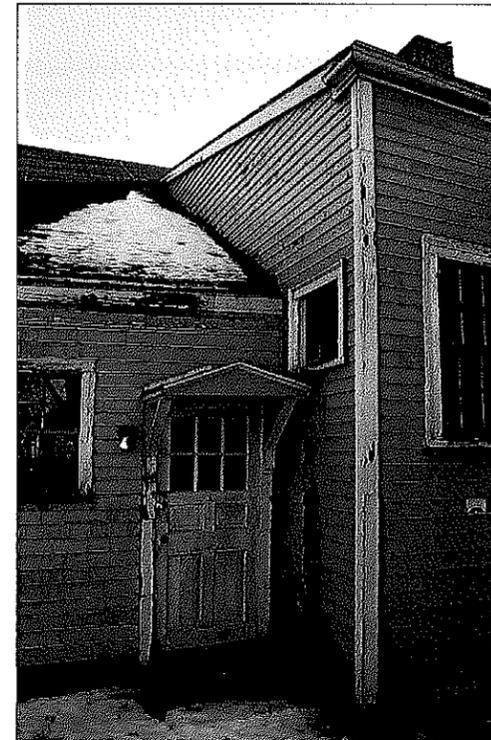
PROPOSED SOUTH ELEVATION



HISTORIC PHOTO



MINOR HANDICAP ACCESSIBILITY MODIFICATIONS AT (3) OF THE EXISTING ENTRANCES THAT ARE ALMOST AT GRADE



MODIFY SIDE DRIVEWAY ENTRANCE TO CREATE AN ACCESSIBLE EGRESS INCLUDING AN AREA OF RESCUE



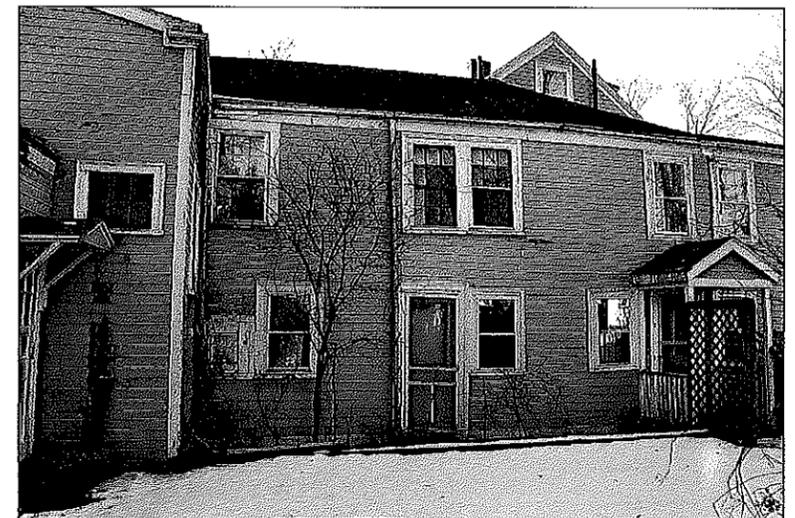
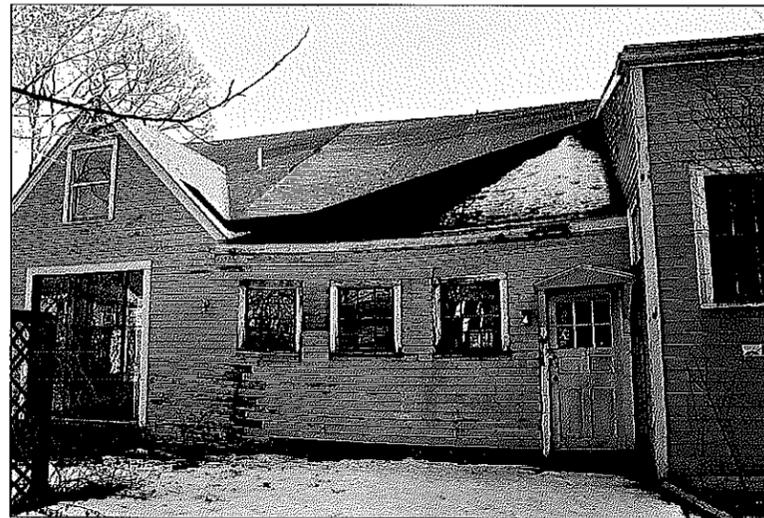
ADDITION OF NEW ACCESSIBLE ENTRANCE TO THE BASEMENT



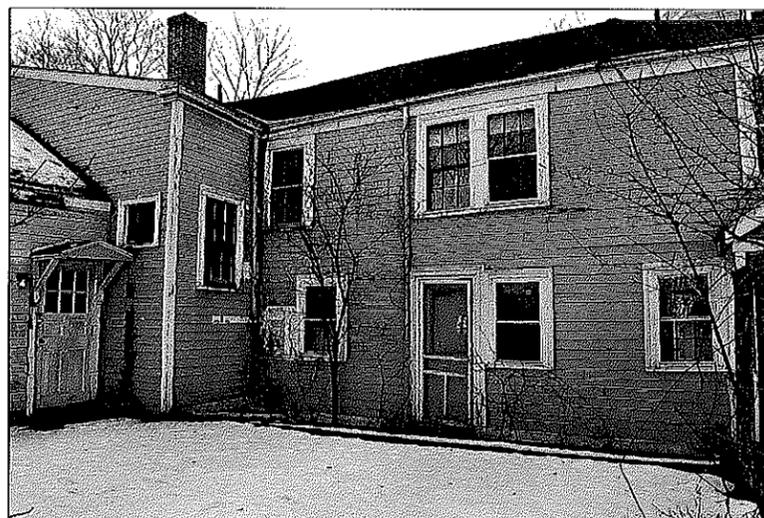
ADDITION OF SCREENED RAMP TO ACCESSIBLE EGRESS/ ENTRY



"REPLACEMENT IN KIND"- REPAIR OF WATER DAMAGE ALONG THE WEST SIDE OF BARN AND NORTH SIDE OF SERVANTS' WING



INCREASE DEPTH OF EXISTING "SUNKEN GARDEN" TO HELP ALLEVIATE WATER DRAINAGE PROBLEM.

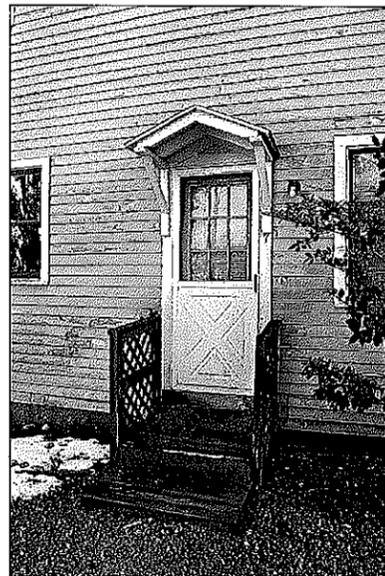
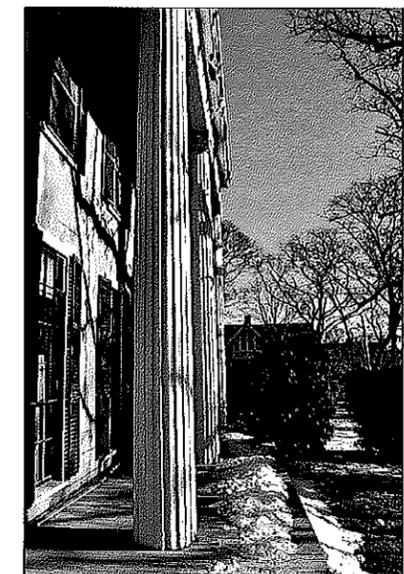




ORIGINAL PORTICO COLONNADE



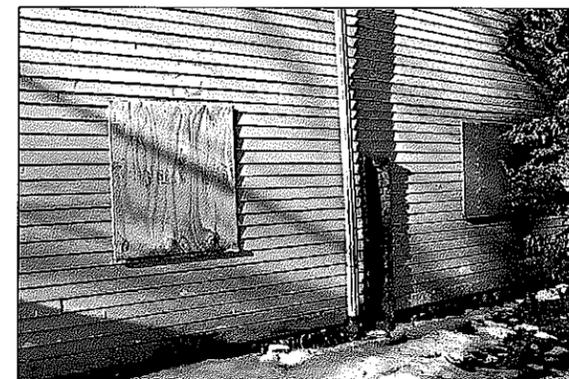
REMOVE PORTIONS OF WRAP-AROUND PORCH INCLUDING TWO-STORY SIDE PORCH AND SPIRAL STAIR



REMOVE NON-ORIGINAL FIRST FLOOR DOORS AT NORTH SIDE OF BARN & SERVANTS' WING. REPLACE WITH WINDOWS



REMOVE HAZARDOUS DOOR (TO NOWHERE) AT FIRST FLOOR OF EAST SIDE OF BARN



REMOVE DOORS AND WINDOWS AT EAST SIDE OF BARN TO BE REPLACED WITH NEW



CITY OF NEWTON, MASSACHUSETTS

Commission On Disability

To: William Paille, Traffic Engineer
cc: Mayor Setti Warren
John Lojeck, Commissioner, Inspectional Services Department
Sgt. Jay Babcock

RE: Newton Centre -- Beacon and Center Street.

Dear Bill,

October 28, 2013

Setti D. Warren
Mayor

At the Monday, October 21, meeting of the Commission On Disability, members had a spirited and candid discussion regarding the traffic light problem in Newton Centre at the intersection of Beacon and Center Streets.

Candace Havens
Director, Planning & Development

The members listened to disturbing incidents of near-fatal accidents at that particular intersection by a member and a citizen of Newton Centre. Specifically, they explained that the current configuration of the lights and the crosswalk placed them and others in harm's way.

Alice Walkup
**Senior Planner
Community Development**

Moreover, the intersection lacks Audible Pedestrian Signals, which allows for a precarious situation to all pedestrians. The members of the Commission unanimously agree that the situation is unconscionable and must be corrected immediately.

Anne Marie Belrose
CD Manager

In addition, the problem is simple and straightforward and the solution likewise. When vehicles are traveling westbound on Beacon Street and the light is red at Center Street vehicles are given a green arrow for a left-hand turn southbound onto Center Street. And, simultaneously, pedestrians heading eastbound on Beacon Street are given a 'walk' light to cross Center Street. *This is going to result in a fatality* because the pedestrians *are in the direct line of traffic* as the vehicles are making the left-hand turn at the green arrow to turn southbound onto Center Street.

Members

Rob Caruso, Co-Chair
Girard Plante, Co-Chair
Jane Brown
Lucie Chansky
Jini Fairley
Rosemary Larking
John Lojeck
Barbara Lischinsky

Simply put, vehicles turning left at the green arrow are *in direct collision with the pedestrians* that are given the 'walk' light.

Advisor

Sergeant Jay Babcock
Newton Police Department

A simple solution and one that the Commission On Disability would endorse is that when pedestrians push the 'walk' button ALL traffic must stop!

Apparently, the current traffic configuration listed above is a MassWorks project. Waiting for MassWorks to correct the problem that we specifically detail above is unacceptable. People are in danger *now!*

Staff

Joel Reider
ADA/Sec 504 Coordinator

The members of the Commission On Disability recommend that the city correct the problem as soon as possible.

We look forward to hearing from you regarding the above matter. Wasted time equals wasted lives.

Sincerely,

Rob Caruso, Co-Chair
Commission On Disability

Girard A. Plante, Co-Chair
Commission On Disability

1000 Commonwealth Ave.
Newton, MA 02459
T 617/796-1120
F 617/796-1142

www.newtonma.gov



CITY OF NEWTON, MASSACHUSETTS

Commission On Disability

To: Mayor Setti Warren

Dear Mayor Warren,

October 28, 2013

The Commission On Disability met on Monday, October 21, and we discussed the absence of a bank account for the Commission to deposit funds to be used for persons with disabilities.

Specifically, the discussion focused on the Handicapped Parking violations funds and where exactly are those funds being held. Upon informing the members that no such bank account has yet been established, members of the Commission voiced their collective concerns as to why an account has not yet been opened.

In addition, the members' spoke about the policy that was agreed upon by the Commission and the Executive Branch of city government, whereby the first \$40,000.00 goes to the City of Newton, and the balance of the HP violations fines would be split by the Commission (60%) and the City (40%).

Moreover, the understanding of the agreement for the disbursement of the HP violations fines went into effect in late 2012. In fact, the Commission was led to believe that its portion of the funds as calculated by the above formula was somewhere between \$4,200.00 and \$5,200.00.

Yet the members of the Commission were told at the October 21 meeting that the agreement does *not start until Fiscal Year 2014!* The members further stated that to the best of their knowledge the original agreement would be in effect immediately upon our mutual consent.

Your immediate attention to the above matter prior to the October 30 meeting with you is critical because the members of the Commission are expecting an explanation.

Sincerely,

Rob Caruso, Co-Chair
Commission On Disability

Girard A. Plante, Co-Chair
Commission On Disability

Setti D. Warren
Mayor

Candace Havens
Director, Planning &
Development

Alice Walkup
Senior Planner
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Rob Caruso, Co-Chair
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Comprehensive Self-Evaluation of Accessibility Compliance

The City of Newton is obligated by both Federal and State laws and codes concerning the rights of people with disabilities in the daily provision of programs, services, and activities.

Following are references to ADA that define the concept of *programmatic access* and that require public entities to evaluate their compliance with regulations of Title II of ADA.

The American with Disabilities Act (ADA)

The ADA is a broad federal civil rights law that is intended to ensure equal opportunity for people with disabilities. Since the City of Newton is a local government, it is considered a public entity, and its primary obligation is to ensure equal access to its programs, services, and activities under Title II of the ADA.

The following applies to state and local governments under Title II:

Program accessibility: The focus is on ensuring that each service, program, and activity, when viewed in its entirety, is readily accessible to and usable by people with disabilities. Buildings constructed before the ADA went effect are not required to be fully accessible.

Program accessibility methods: These can include the redesign of equipment, reassignment of services to accessible buildings, assignment of aides (e.g. human beings), home visits, delivery of services at alternate accessible sites, alteration of existing facilities, and construction of new facilities.

Self-Evaluation

Section 35.105 establishes a requirement, based on the section 504 regulations for federally assisted and federally conducted programs, that a public entity evaluate its current policies and practices to identify and correct any that are not consistent with the requirements of this part.

§ 35.105

(a) A public entity shall, within one year of the effective date of this part, evaluate its current services, policies, and practices, and the effects thereof, that do not or may not meet the requirements of this part and, to the extent modification of any such services, policies, and practices is required, the public entity shall proceed to make the necessary modifications.

(b) A public entity shall provide an opportunity to interested persons, including individuals with disabilities or organizations representing individuals with disabilities, to participate in the self-evaluation process by submitting comments.

(c) A public entity that employs 50 or more persons shall, for at least three years following completion of the self-evaluation, maintain on file and make available for public inspection:

- A list of the interested persons consulted;
- A description of areas examined and any problems identified; and
- A description of any modifications made.

(d) If a public entity has already complied with the self-evaluation requirement of a regulation implementing section 504 of the Rehabilitation Act of 1973, then the requirements of this section shall apply only to those policies and practices that were not included in the previous self-evaluation.

Timeline for performing Accessibility Self-Evaluation

The following DRAFT timeline outlines a step-by-step process by which it will be possible to accurately evaluate the City's compliance with accessibility regulations:

1. Create an accurate inventory of City facilities and programs that must provide accessibility to persons with disabilities.
2. Collect and organize existing data from previous accessibility studies.
3. Define a list of facilities and programs that need to be studied.
4. Enlist the services of a professional accessibility consulting firm to perform technical audits of those facilities.
5. Combine findings from new study with existing data to produce a comprehensive report.
6. Review this report with the public.

Note that enlisting the expertise of a consultant is driven by the need for accuracy, authority and efficiency. Furthermore, there are precedents in the City for hiring consultants to perform this kind of work: in 1996, Katherine McGuinness and Associates completed an Accessibility Review of Newton School Facilities; in 2011, as a sub-contractor to Kleinfelder-SEA, Kessler McGuinness and Associates completed Access Issues Reports for 32 City facilities as part of the Facilities Conditions Assessment.

October 30, 2013

Joel Reider
ADA/Section 504 Accessibility Coordinator

Draft Timeline for Performing Accessibility Self-Evaluation (October 30, 2013)

TASK	DATE
Complete inventory of City Facilities that require accessibility auditing. Review with COD sub-committee.	11/6/13
Review inventory with an accessibility expert (Mass Office on Disability or New England ADA) to confirm accuracy of scope and to get a rough estimate of cost to complete an audit.	11/13/13
Review final inventory and estimated costs, funding and schedule with Executive Office. Gain approval to move forward with RFP to select a consulting firm that will complete the necessary facilities auditing.	11/20/13
(contingent on approval of previous step): Review inventory with COD Sub-committee and prepare RFP for accessibility consultants. RFP to include pricing for compiling data from new audits with existing data from previously completed accessibility studies and formatting all data consistently.	12/4/13
Review bids and select consultant.	12/18/13
Accessibility audits of previously unaudited facilities complete; review and update data from existing accessibility studies.	2/2/14
Compile existing data with new and format for publishing.	2/19/14
Accessibility Self-Evaluation complete (incorporate Executive Summary, indexes and supporting documentation).	2/26/14
Public meeting(s) to present and review Self-Evaluation and to gather community input to help develop this study into a working, multi-year Transition Plan.	3/12/14

NOTE: developing an ADA Transition Plan from this Self-Evaluation will require approximately 2-3 months work beyond the final community review.

Joel Reider

To: jreider@!newtonma.gov
Subject: Fw: Overview: Teleconference with Michael Muehe
Date sent: Wed, 13 Nov 2013 09:32:00

Thursday, October 17, 2013 @ 1:45pm
Teleconference: ADA Transition Plan

Participants:
Michael Muehe, Director
Cambridge Commission on Disability

Rob Caruso, Co-Chair
Girard A. Plante, Co-Chair
Newton Commission On Disability

At the outset the conversation we focused on accessibility regarding the elevator proposal at Newton City Hall. Michael recommends that "a design should be conducted by an outside architect, not a city architect."

The topic then turned to the ADA Transition Plan. Cambridge updated its Transition Plan with an intern who surveyed city parks; Public Works and others helped self-evaluate Cambridge governmental systemic component. In 1998, they completed a survey of sidewalks and curb cuts. Created a five-year plan where to put curb cuts/sidewalks. Cambridge city website currently shows a five-year plan with "incredible graphics."

Cambridge can show the Department of Justice (DOJ) a Plan. Though the city is required to five-year Plan of curb cuts/sidewalks, and it's the city's last component, the city is covered under the ADA mandate.

Michael recommends Newton conduct a five-year plan. "Every intersection is important." Enter all data into a Geographic Information System (GIS) whereby sidewalks/curb cuts that are missing; "outmoded ones are better than none." GIS is "invaluable tool." But new data must be entered so you know exactly what is updated. If new data isn't updated then there's a problem because you won't know exactly what's updated or whether there's poor/good conditions or old/current.

Michael suggests that ISD Commissioner bring a monthly GIS report of a Village's condition (detailed "map" of each Village). Updates are "essential." The monthly update means the Villages are updated in 13 months! Carving up areas (i.e., one Village at a time) is less daunting. Michael prefers the ADA/Section 504 Coordinator do only ADA stuff. Look at creating full-time position in he near future.

Michael Muehe strongly urges to utilize Barbara Chandler's exhaustive Report -- Ramping Up. Hiring another consultant "Is waste of money." Joel should review both 1991 Transition Plan and Barbara Chandler's report. "Ensure every Department head understands the importance of accessibility.

Somerville hired the Institute for Human-Centered Design (formerly Adaptive Designs). Website has 500-pages of City buildings ; however, they did not review curb cuts/sidewalks. Still they did a good job!

Cambridge Commission On Disability has 11 members. Established in 1979. The Commission's funding (\$50,000.00) comes exclusively from the city to spend on Capital Improvement Plan (CIP). If they sought HP violations fees they collect only as high as \$25-\$50,000.00. Cambridge Commission never thought of going after the funds because the city fully funds the Commission.

Respectfully Submitted by,

Girard A. Plante, Co-chair
Commission On Disability