

ZBA Date/Time Stamp

CITY OF NEWTON
ZONING BOARD OF APPEALS

COVER PAGE FOR APPLICATION
FOR COMPREHENSIVE PERMIT

To be completed by Staff: Project No.: Petition No.:

APPLICANT INFORMATION

NAME: CPC Land Acquisition Company, LLC

ADDRESS: 1601 Trapelo Road, Suite 174, Waltham, MA 02451

PHONE: N/A EMAIL: N/A

POINT OF CONTACT: Stephen J. Buchbinder, Esquire

Schlesinger and Buchbinder, LLP, 1200 Walnut Street, Newton, MA 02461

SUBJECT PROPERTY INFORMATION

LOCATION OF PROPERTY: 15 Riverdale Avenue

ZONING DISTRICT: MU PROPERTY SBL NO.: 11002 0007

OWNER OF RECORD: Legacy the River, LLC

DEED RECORDED AT MIDDLESEX SOUTH REGISTRY OF DEEDS AT:
BOOK: 59021 PAGE: 1 OR CERTIFICATE NO.: _____

RELATIONSHIP TO SUBJECT PROPERTY: CPC Land Acquisition Company, LLC has entered into an agreement to purchase the subject property from Legacy the River, LLC.

APPLICATION REQUIREMENTS

THIS COVER PAGE MUST BE SUBMITTED ALONG WITH A COMPLETED APPLICATION IN ACCORDANCE WITH ARTICLE VI OF THE BOARD'S RULES AND REGULATIONS. APPLICATIONS MUST INCLUDE THE MATERIAL REQUIRED IN ARTICLE VI, SECTION 2(1) THROUGH (18).

IMPORTANT: APPLICANTS MUST HAVE COMPLETED A DRT MEETING AND REQUESTED AND RECEIVED A COMPLETED ZONING REVIEW MEMORANDUM PRIOR TO FILING AN APPLICATION FOR A COMPREHENSIVE PERMIT.

APPLICANT/PROPERTY OWNER CONSENT, CERTIFICATION & SIGNATURE

(Signatures are required)

I am the applicant and/or owner of the property subject to this comprehensive permit application and I consent and certify as follows:

1. I grant permission for officials and employees of the City of Newton to access my property for the purposes of this application;
2. I certify that I have read the Board's Rules and Procedures before submittal to ensure the completeness of this application;
3. I certify that all the statements within this application and attachments are true and accurate to the best of my knowledge and belief.

X  12/19/19
CPC Land Acquisition Company, LLC by John J. Englert, Manager, (Date)

X  12/19/19
Legacy the River, LLC, by Michael L. Price, Manager (Date)

If Applicable:

Name of Attorney/Agent for Applicant: Stephen J. Buchbinder, Esquire

Address of Attorney/Agent: Schlesinger and Buchbinder, LLP, 1200 Walnut Street, Newton, MA 02461-1267

Phone Number of Attorney/Agent: 617-965-3500

Email Address of Attorney/Agent: sjbuchbinder@sab-law.com

**RESIDENCES ON THE CHARLES COMPREHENSIVE PERMIT APPLICATION
SECTION 2 – PROJECT NARRATIVE**

1. Applicant

CPC Land Acquisition Company, LLC (the "Applicant") has been organized under the General Laws of the Commonwealth of Massachusetts and is qualified to undertake the planning and development of the proposed mixed use project in Newton, Massachusetts. The Applicant proposes to develop 204 apartment units on a limited dividend basis as required under all laws and regulations of the Commonwealth of Massachusetts, along with ancillary commercial space.

The Applicant respectfully requests that all notices from the ZBA in connection with this Application be sent to Stephen J. Buchbinder, Esquire, Schlesinger and Buchbinder, LLP, 1200 Walnut Street, Newton, MA 02461-1267.

2. Description of the Development

The Residences on the Charles will bring an exciting new mix of uses to this part of Nonantum, reconnecting it to the Charles River and its public realm. Residential apartments will be combined with innovation space and retail amenities to reinvigorate this area at the end of Los Angeles Street, formerly home to manufacturing of light industrial businesses. A broad, central, linear courtyard is at the heart of the new complex, providing an inviting pathway through the complex and down to the lush landscape along the Charles River.

Currently, the site is occupied by a tall, single story commercial building that virtually fills the site, blocking views and connections to the river. Forte Park, a recreational amenity for the residents of Newton, sits to the west of the site – its open, landscaped setting will provide a nice view for the new buildings. A series of single-story light industrial, storage, and office buildings sits immediately to the south and east of the site. Other multi-story mill-type buildings exist in the immediate neighborhood. The existing buildings are in various states of repair – the PSMJ office building directly across the street has been renovated in a modern, industrial character; other buildings are in derelict condition surrounded by large, ill-defined paved areas. These buildings front a continuous “loop” street off of California Street that connects Riverdale Avenue, Midland Avenue, and Los Angeles Streets. Currently, the street “loop” provides the access to the site to be developed; however, the streets are in poor condition and the development will work with the neighboring properties to improve the streets for access and parking all the way to California Street.

The new development will offer a more open design to enhance the neighborhood’s connection to the Charles River. The development highlights include:

- 204 Rental Apartments (51 Affordable, 2 Live/Work)

- 17,782 Square Feet of Innovation Space
- 4,600 Square Feet of Retail Space
- 227 Parking Spaces
- Public Courtyard and Amenities

The developed property will include two buildings and a major courtyard:

- **Building 1** – will sit on the northern part of the parcel, nearest the Charles River. Its front façade will align with Midland Avenue, which will be improved with parallel parking on the building side. Building 1 will include 182 apartments in a four-story, Type 5A wood-framed structure over a Type 1 Podium for parking and retail. Smaller one and two-story extensions project into the courtyard to reduce apparent building scale. The five-story building is separated into two distinct wings, which are connected by a bridge. Entry to the linear public courtyard leading to the river is below this bridge. Building 1 is approximately 203,000 square feet, excluding the parking area, and includes 4,600 square feet of retail space.
- **Building 2** – will sit on the southern tip of the site, at the corner of Midland Avenue and Los Angeles Street. Building 2 will have ground floor retail, second floor innovation space, and two upper levels housing 22 apartments. Parking is also located at the ground floor, with spaces both under the building as well as open to the air. Building 2 is approximately 42,420 square feet, excluding parking, and includes 17,782 square feet of innovation space.
- **Courtyard** – Aligned with Los Angeles Street, the new courtyard invites pedestrian entry into the complex under a “bridge” and into a space edged by retail and commercial uses. Retail amenities may include a small restaurant, beer garden, bicycle “loaner” and repair shop, artist live/work space, and canoe/kayak rentals. A community room for gathering and events may also be included. These new uses are intended to encourage neighbors to visit, engage in new activities, and connect with Forte Park west of the site. The plan proposes making a direct connection, through an existing fence, between Forte Park and the new development’s pedestrian paths.

The design recalls and respects the industrial character of the area, but it offers a decidedly residential feel. The complex is broken down into a series of smaller components, lining the courtyard with a mix of scales interspersed with open trellises and landscaping. Building 1 is split into two wings, placed as long, wharf-like fingers projecting towards the riverfront, and stepping down in height towards the river. Along the street, a broad, glassy entry serves as a frame for the pedestrian’s views of the river. Building 2 wraps its façade along both Midland Avenue and Los Angeles Street, shielding views of the parking from the streets. A mix of brick, stone, and metal/cementitious siding will further break the complex down into smaller components. Apartments will sit back from the courtyard, starting on the second level. Resident-only amenity areas will be at the second floor, above the retail extensions, providing for a lively mix of uses and activity at multiple levels across the courtyard.

The new buildings will range from one to five stories. In total, 204 apartments are proposed,

consisting of mostly one and two-bedroom apartments, and varying in size from 700 to 1,200 square feet. Decks will be arrayed around the buildings, allowing residents to enjoy views of the outdoor setting from their homes. Most of the parking is tucked under the buildings, hidden from view, except the open parking areas at the end of the buildings that serve to allow safe fire truck access completely around the building. 227 parking spaces will be available across the complex for the complementary residential and office uses, in keeping with transit-oriented development standards for a complex located within a short walk to bus lines as this one is. Additionally, we expect “shared” parking between the innovation space and residents, with innovation spaces typically used during the day, and more residential spaces needed at night.

Landscaping highlights natural plant material along the river. Paving in the broad courtyard steps in and out, engaging new uses and reducing the scale of the surrounding building elements. A terrace at the northern side of the courtyard will provide an attractive riverfront overlook and common area for the residents of the building, as well as attracting interested members of the public. It is hoped that a small restaurant at this end of the complex will draw residents and neighbors alike to mingle and enjoy sitting along the river. Bike racks located in the courtyard will provide easy access to bikes for shared use. Other retail uses may include kayak rental and recreational activities. Sustainable elements of the site include the utilization of existing and recycled materials and native plant species, the reclamation of surface run-off into rain gardens, interpretive elements, public access and seating, and low level and shielded lighting.

3. Relationship to Adjacent Building (including building massing, site arrangement, and architectural details):

The Site and surrounding neighborhood are comprised of a mix of uses. In the immediate vicinity of the Site along Riverdale Avenue and Los Angeles Street there are a mix of single-story manufacturing uses and surface parking lots. Several single-family homes are also located in this area. One block south of the Site along California Street there are several multi-story masonry commercial buildings in addition to a mix of single-story industrial, commercial, and retail uses, small multi-family structures, and single-family homes. The Site also directly abuts approximately 6 acres of open space at Forte Park to the west and the Charles River and Charles River Greenway to the north.

The proposed Project consists of two mixed-use structures with varying heights and setbacks that range from one- to five- stories. One larger building is located on the north side of Riverdale Avenue and Los Angeles Street, and includes 182 units and approximately 4,600 square feet of retail space. A separate smaller building is located on the southern side of Riverdale Avenue which includes approximately 17,782 square feet of commercial "innovation" space with 22 units above. The smaller building is four stories at its tallest elevation, stepping down to three stories along the edge closest to California Street. Varying heights ranging from one to three to five stories allow the larger building to integrate into the neighborhood, creating a transition with its edge along the Charles River, and using setbacks to define open spaces within the Site including both a public courtyard and private terraces. Material choices attempt to balance the new multi-family residential use with existing industrial uses, and include

brick, stone, and metal/cementitious siding. Due to these proposed design features, the height and architectural style of the proposed Project are able to successfully integrate with the surrounding context.

4. Relationship to Adjacent Streets and Integration into Existing Development Patterns

The Project is located on a parcel of land that is located at the intersection of Riverdale Avenue and Los Angeles Street. Existing street patterns on Riverdale Avenue and Los Angeles Street will be maintained and will provide pedestrian and vehicular access to the two buildings. An access road around the outside of the larger building provides access to covered parking areas as well as access for emergency vehicles. Vehicle access and egress to covered parking in the smaller building is provided through curb cuts on Riverdale Avenue and Los Angeles Street. The proposed Project encourages pedestrian circulation within the Site by building sidewalks along Riverdale Avenue and Los Angeles Street. Pedestrian amenities and connections throughout the Site are also enhanced by a proposed interior courtyard.

California Street is a major two-lane roadway, which intersects with both Riverdale Avenue and Los Angeles Street to create a vehicular access loop to and from the Site and a fluid connection with neighborhood roadways and commercial corridors. The Site is approximately one-half mile west of the Watertown Yard transit hub and amenities in Watertown Square. Additional retail and commercial uses along California Street include a Stop and Shop shopping plaza and a series of other small businesses. Given its transit-oriented, mixed-use location, the proposed Project is able to integrate successfully into existing development patterns.

5. Qualification as a 40B Development

The development qualifies as assisted “low or moderate income housing” within the meaning of Massachusetts General Laws Chapter 40B, Section 20 and will provide 51 units (25.0%) which will serve households earning at or below 80% of area median income and thus will meet the definition of low and moderate income under the statute. The Applicant will develop this project pursuant to the guidelines of the MassHousing New England Fund Program administered by MassHousing under which a site approval letter has been granted.

6. Local Need

According to figures compiled by the Massachusetts Department of Communities and Development (DHCD), Newton’s subsidized housing inventory represents less than 10% of its total housing stock, which is below the threshold requirements established under Chapter 40B of Massachusetts General Laws.

7. Exceptions and Approvals Requested

The parcel comprising the proposed 40B site is zoned for Manufacturing. This zone restricts development to limitations incompatible with the proposed development. Certain elements of the proposed development, most notably its proposed density and use, will not

comply with the current underlying zoning. Consequently, an exception of use is required to enable multi-family residential at the proposed density to be constructed. Other exceptions to the City of Newton's Zoning Bylaws and other local regulations are specifically detailed in this application. If any specific exceptions have not been listed in this application, the applicant, upon notification of such an oversight, shall promptly amend the list of exceptions included herein.

CONCLUSION

For all of the foregoing reasons, and for the additional reasons the Applicant will present at the scheduled public hearing on this Application, the Applicant respectfully requests the Board, after complying with the procedural requirements as provided by law, issue to the Applicant a Comprehensive Permit for the proposed development.

Residences on the Charles Comprehensive Permit Application
Section 3 – Identification of Owner, Applicant, and Principals Thereof

Ownership: Owned by Legacy, the River LLC (“Legacy”) by Deed recorded with the Middlesex South Registry of Deeds on May 2, 2012 in Book 59021, Page 1. Legacy is managed by Michael L. Price of 318 Bear Hill Road, Waltham, MA 02451. Legacy has entered into a Purchase and Sale Agreement dated February 6, 2019, and amended on July 29, 2019, to sell the development site to CPC Land Acquisition Company.

CPC Land Acquisition Company, a Delaware limited liability company, is owned and controlled by its three members:

John J. Englert, 1601 Trapelo Road, Suite 174, Waltham, MA 02451

Andrew S. Kaye, 1601 Trapelo Road, Suite 174, Waltham, MA 02451

W. Pretlow Riddick, 14160 North Dallas Parkway, Suite 750, Dallas, TX 75254

Residences on the Charles

Development Team

Applicant/Developer

CPC Land Acquisition Company, LLC
c/o Criterion Development Partners
John J. Englert
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40B Consultant

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Geotechnical & GeoEnvironmental Engineers

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Real Estate Attorney

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Joshua Davis, Esquire
54 Academy Street
Arlington, MA 02476
617.733.2555

Residences on the Charles Comprehensive Permit Application
Section 5 – List of Recently Completed Projects by Affiliated Entities of the Applicant

The local project managers of CPC Land Acquisition Company, LLC and its affiliated entities, Jack Englert and Andrew Kaye, have extensive experience developing multi-family housing developments in the Greater Boston area.

Development Name	Location	Number of Units
Residences at Rivers Edge	Medford, MA	222
Riverbend on the Charles	Watertown, MA	170
Vox on Two	Cambridge, MA	228
Lumiere	Medford, MA	163
HUB25	Boston, MA	278
RE150	Medford, MA	282
Quinn 35	Shrewsbury, MA	250
Tempo	Cambridge, MA	320
Velo	Jamaica Plain, MA	250



Massachusetts Housing Finance Agency
One Beacon Street, Boston, MA 02108

TEL: 617.854.1000
FAX: 617.854.1091 | www.masshousing.com

Videophone: 857.366.4157 or Relay: 711

October 29, 2019

CPC Land Acquisition Company, LLC
1601 Trapelo Road, Suite 174
Waltham, MA 02451
Attention: John J. Englert

**RE: The Residences on the Charles
Project Eligibility/Site Approval
MH ID No. 1047**

Dear Mr. Englert:

This letter is in response to your application as “Applicant” for a determination of Project Eligibility (Site Approval) pursuant to Massachusetts General Laws Chapter 40B (“Chapter 40B”), 760 CMR 56.00 (the “Regulations”) and the Comprehensive Permit Guidelines issued by the Department of Housing and Community Development (“DHCD”) (the “Guidelines” and, collectively with Chapter 40B and the Regulations, the “Comprehensive Permit Rules”), under the New England Fund (“NEF”) Program (“the Program”) of the Federal Home Loan Bank of Boston (“FHLBank Boston”).

CPC Land Acquisition Company, LLC has submitted an application with MassHousing pursuant to Chapter 40B. You have proposed to build 204 units of rental housing and approximately 18,600 square feet of commercial and retail space in two mixed-use buildings (the “Project”) on approximately 3.4 acres of land located at 15 Riverdale Avenue (the “Site”) in Newton (the “Municipality”).

In accordance with the Comprehensive Permit Rules, this letter is intended to be a written determination of Project Eligibility (“Site Approval”) by MassHousing acting as Subsidizing Agency under the Guidelines, including Part V thereof, “Housing Programs In Which Funding Is Provided By Other Than A State Agency.”

MassHousing has performed an on-site inspection of the Site, which local boards and officials were invited to attend, and has reviewed the pertinent information for the Project submitted by the Applicant, the Municipality and others in accordance with the Comprehensive Permit Rules.

Municipal Comments

The Municipality was given a thirty (30) day period in which to review the Site Approval application and submit comments to MassHousing. Newton’s Department of Planning and

Development submitted a letter regarding the Application dated September 27, 2019. Newton's Parks and Recreation Department submitted a letter regarding the Application dated October 3, 2019. The letters expressed support for the Project and summarized comments from municipal staff and officials.

In summary, the Municipality acknowledged that the need for affordable housing in Newton is vast and that the proposed Project aligns with many of Newton's housing goals and strategies, such as providing mixed-use, mixed-income developments, preferably near transit centers, which aim to increase the diversity of housing opportunities in Newton. The Municipality looks forward to continuing to review and refine the Project with the Applicant within the context of a Comprehensive Permit public hearing process, particularly in connection with the following areas of concern:

- The Municipality expressed concerns regarding potential light and noise impacts on neighboring properties and requests that a detailed lighting plan and information relative to HVAC equipment, its locations, and measures taken to minimize sound be provided as part of their Comprehensive Permit application.
- The Municipality expressed concerns regarding potential impacts of Project construction and requests that a construction management plan be prepared to provide additional information regarding strategies for mitigation.
- The Municipality would like more information relative to traffic impacts, parking needs, infrastructure improvements, loading, and circulation within the Site and requests that the Applicant submit a traffic study, parking analysis, and transportation demand management plan as part of their Comprehensive Permit application. The Municipality noted support for minimizing parking to the extent feasible and incentivizing alternative modes of transportation.
- The Municipality agrees with the pedestrian connections between the Site and the abutting Forte Park as they are shown on the proposed Project's site plan and noted that connections with the park should be limited to pedestrians only.
- The Municipality encourages the Applicant to consider incorporating deeper levels of affordability. In particular, the Municipality suggested a need for units set at or below 50% AMI and 65% AMI, in addition to the 80% AMI units.

Community Comments

In addition to the comments from town staff and officials, MassHousing received one (1) letter from a local retail development consultant. The letter expressed concern that current land uses in the neighborhood are not compatible for residential living, however noted that if there were plans to add more residential uses, the proposed Project could be important in the neighborhood's transformation. The letter also suggested a need for basic retail operations such as a convenience store, laundromat, and informal eateries.

MassHousing Determination and Recommendations

MassHousing staff has determined that the Project appears generally eligible under the requirements of the Program, subject to final review of eligibility and to Final Approval under the Comprehensive Permit Rules. As a result of our review, we have made the findings as required pursuant to 760 CMR 56.04(1) and (4). Each such finding, with supporting reasoning, is set forth in further detail on Attachment 1 hereto. It is important to note that Comprehensive Permit Rules limit MassHousing to these specific findings in order to determine Project Eligibility. If, as here, MassHousing issues a determination of Project Eligibility, the Developer may apply to the Zoning Board of Appeals of the Municipality for a Comprehensive Permit. At that time, local boards, officials and members of the public are provided the opportunity to further review the Project to ensure compliance with applicable state and local standards and regulations.

Based on MassHousing's consideration of comments received from the Municipality, and its site and design review, the following issues should be addressed in your application to the ZBA for a Comprehensive Permit and fully explored in the public hearing process prior to submission of your application for final approval under the Program:

- Development of this Site will require compliance with all state and federal environmental laws, regulations and standards applicable to existing conditions and to the proposed use related to building construction, stormwater management, wastewater collection and treatment, and hazardous waste safety. The Applicant should expect that the Municipality will require evidence of such compliance prior to the issuance of a building permit for the Project.
- Given the Site's location within a floodplain, impacts on water flow and floodwater storage capacity should be studied. Elevations for lowest level of dwelling units and/or mechanical spaces should be confirmed and the Applicant is encouraged to review the proposed design and elevations of building systems for resiliency planning.
- The Applicant should continue to work with its design team to pursue sustainability initiatives that may improve occupant comfort and reduce operating expenses and is encouraged to explore options for renewable energy and electric vehicle charging stations.
- The Applicant should be prepared to provide sufficient data to assess potential traffic impacts and parking needs and respond to reasonable requests for mitigation. In particular, traffic patterns should be reviewed for the Site access and egress, particularly during peak travel times; the provision of space for bike storage, car-sharing, and electric vehicle charging stations is encouraged; and consideration should be given to providing bus shelters as well as bike lanes to allow safe access to nearby transportation nodes.
- The Applicant should be prepared to provide detailed information relative to light, noise, and construction impacts and respond to reasonable requests for mitigation.
- The affordability component of the Project must conform to the requirements outlined in the 40B Guidelines and to those of the NEF Program of the FHLBank Boston, administered by MassHousing as Subsidizing Agency.

MassHousing has also reviewed the application for compliance within the requirements of 760 CMR 56.04(2) relative to Application requirements and has determined that the material provided by the Applicant is sufficient to show compliance.

This Site Approval is expressly limited to the development of no more than two hundred and four (204) rental units under the terms of the Program, of which not less than fifty-one (51) of such units shall be restricted as affordable for low or moderate-income persons or families as required under the terms of the Guidelines. It is not a commitment or guarantee of financing and does not constitute a site plan or building design approval. Should you consider, prior to obtaining a Comprehensive Permit, the use of any other housing subsidy program, the construction of additional units or a reduction in the size of the Site, you may be required to submit a new Site Approval application for review by MassHousing. Should you consider a change in tenure type or a change in building type or height, you may be required to submit a new site approval application for review by MassHousing.

For guidance on the Comprehensive Permit review process, you are advised to consult the Guidelines. Further, we urge you to review carefully with legal counsel the M.G.L. c.40B Comprehensive Permit Regulations at 760 CMR 56.00.

This approval will be effective for a period of two (2) years from the date of this letter. Should the Applicant not apply for a Comprehensive Permit within this period this letter shall be considered to be expired and no longer in effect unless MassHousing extends the effective period of this letter in writing. In addition, the Applicant is required to notify MassHousing at the following times throughout the two-year period: (1) when the Applicant applies to the local ZBA for a Comprehensive Permit, (2) when the ZBA issues a decision and (3) if applicable, when any appeals are filed.

Should a Comprehensive Permit be issued, please note that prior to (i) commencement of construction of the Project or (ii) issuance of a building permit, the Applicant is required to submit to MassHousing a request for Final Approval of the Project (as it may have been amended) in accordance with the Comprehensive Permit Rules (see especially 760 CMR 56.04(07) and the Guidelines including, without limitation, Part III thereof concerning Affirmative Fair Housing Marketing and Resident Selection). Final Approval will not be issued unless MassHousing is able to make the same findings at the time of issuing Final Approval as required at Site Approval.

Please note that MassHousing may not issue Final Approval if the Comprehensive Permit contains any conditions that are inconsistent with the regulatory requirements of the New England Fund Program of the FHLBank Boston, for which MassHousing serves as Subsidizing Agency, as reflected in the applicable regulatory documents. In the interest of providing for an efficient review process and in order to avoid the potential lapse of certain appeal rights, the Applicant may wish to submit a "final draft" of the Comprehensive Permit to MassHousing for review. Applicants who avail themselves of this opportunity may avoid significant procedural delays that can result from the need to seek modification of the Comprehensive Permit after its initial issuance.

If you have any questions concerning this letter, please contact Katherine Miller at (617) 854-1116.

Sincerely,



Chrystal Kornegay
Executive Director

cc: Janelle Chan, Undersecretary, DHCD
The Honorable Cynthia Stone Creem
The Honorable John J. Lawn, Jr.
The Honorable Ruthanne Fuller, Mayor, City of Newton
Marc Laredo, President, City Council
Brooke Lipsitt, Chair, Zoning Board of Appeals
Barney Heath, Director of Planning & Development

Attachment 1

760 CMR 56.04 Project Eligibility: Other Responsibilities of Subsidizing Agency
Section (4) Findings and Determinations

The Residences on the Charles, Newton, MA #1047

MassHousing hereby makes the following findings, based upon its review of the application, and taking into account information received during the site visit and from written comments:

(a) that the proposed Project appears generally eligible under the requirements of the housing subsidy program, subject to final approval under 760 CMR 56.04(7);

The Project is eligible under the NEF housing subsidy program and at least 25% of the units will be available to households earning at or below 80% of the Area Median Income, adjusted for household size, as published by the U.S. Department of Housing and Urban Development (“HUD”). The most recent HUD income limits indicate that 80% of the current median income for a four-person household in Newton is \$89,200.

The 51 affordable units will have rent levels of \$1,521 for the 10 studios, \$1,673 for the 21 one-bedroom units, \$2,007 for the 14 two-bedroom units, and \$2,319 for the 6 three-bedroom units, less assumed utility costs of \$104, \$154, \$243, and \$333, respectively. MassHousing’s Appraisal and Marketing Division (A&M) has reviewed proposed affordable rents and report that they are within current affordable rent levels for the Boston-Cambridge-Quincy HMFA under the NEF Program.

The Applicant submitted a letter of financial interest from Eastern Bank, a member bank of the FHLBank Boston under the NEF Program.

(b) that the site of the proposed Project is generally appropriate for residential development, taking into consideration information provided by the Municipality or other parties regarding municipal actions previously taken to meet affordable housing needs, such as inclusionary zoning, multifamily districts adopted under c.40A, and overlay districts adopted under c.40R, (such finding, with supporting reasoning, to be set forth in reasonable detail);

Based on MassHousing staff’s site inspection, internal discussions, and a thorough review of the application, MassHousing finds that the Site is suitable for residential use and development and that such use would be compatible with surrounding uses.

Comments provided by the City of Newton outline recent municipal actions taken to meet affordable housing needs, including the Newton Leads 2040 Housing Strategy, published in 2016, and Newton’s Economic Development Strategic Plan, published in 2019. While the Municipality acknowledged that there are currently several pending and approved developments with SHI eligible units, they also recognized that these additional units will not fully meet the overwhelming demand for affordable rental housing throughout Newton. As of August 2019, Newton has 2,492 Subsidized Housing Inventory (SHI) units (7.70% of its housing inventory),

which is 743 units short of the statutory minima requirement of 10%. Given that the proposed Project aligns with many of the objectives of Newton's housing and planning initiatives, MassHousing encourages the Applicant and the Municipality to continue to engage on a mutually beneficial project.

The need for additional affordable housing is further supported by U.S. Census data from the 2013-2017 American Community Survey (ACS), which indicates that of the 30,952 households in the city of Newton approximately 47.6% earned less than the HUD published 2019 AMI (\$113,300), approximately 21.5% earned less than 50% of the 2019 AMI, approximately 24.8% earned less than 60% of the 2019 AMI and approximately 33.9% earned less than 80% of the 2018 AMI.

(c) that the conceptual project design is generally appropriate for the site on which it is located, taking into consideration factors that may include proposed use, conceptual site plan and building massing, topography, environmental resources, and integration into existing development patterns (such finding, with supporting reasoning, to be set forth in reasonable detail);

Relationship to Adjacent Building Typology (including building massing, site arrangement, and architectural details):

The Site and surrounding neighborhood are comprised of a mix of uses. In the immediate vicinity of the Site along Riverdale Avenue and Los Angeles Street there are a mix of single-story manufacturing uses and surface parking lots. Several single-family homes are also located in this area. One block south of the Site along California Street, there are several multi-story masonry commercial buildings in addition to a mix of single-story industrial, commercial and retail uses, small multi-family structures, and single-family homes. The Site also directly abuts approximately 6 acres of open space at Forte Park to the west and the Charles River and Charles River Greenway to the north.

The proposed Project consists of two mixed-use structures with varying heights and setbacks that range from one- to five- stories. One larger building is located on the north side of Riverdale Avenue and Los Angeles Street, and includes 182 units and approximately 1600 square feet of retail space. A separate smaller building is located on the southern side of Riverdale Avenue includes approximately 17,000 square feet of commercial "innovation" space with 22 units above. The smaller building is 4-stories at its tallest elevation, stepping down to three-stories along the edge closest to California Street. Varying heights ranging from one-, to three-, to five-stories allow the larger building to integrate into the neighborhood, creating a transition with its edge along the Charles River, and using setbacks to define open spaces within the Site including both a public courtyard and private terraces. Material choices attempt to balance the new multi-family residential use with existing industrial uses, and include brick, stone, metal/cementitious siding. Due to these proposed design features, the height and architectural style of the proposed Project are able to successfully integrate with the surrounding context.

Relationship to adjacent streets/Integration into existing development patterns

The Project is located on two parcels of land that are located at the intersection of Riverdale Avenue and Los Angeles Street. Existing street patterns on Riverdale Avenue and Los Angeles Street will be maintained and provide pedestrian and vehicular access to the two buildings. An

access road around the outside of the larger building provides access to covered parking areas as well as access for emergency vehicles. Vehicle access and egress to covered parking in the smaller building is provided through curb cuts on Riverdale Avenue and Los Angeles Street. The proposed Project encourages pedestrian circulation within the Site by building sidewalks along Riverdale Avenue and Los Angeles Street. Pedestrian amenities and connections throughout the Site are also enhanced by a proposed interior courtyard.

California Street is a major two-lane roadway, which intersects with both Riverdale Avenue and Los Angeles Street to create a vehicular access loop to and from the Site and a fluid connection with neighborhood roadways and commercial corridors. The Site is approximately one-half mile west of the Watertown Yard transit hub and amenities in Watertown Square. Additional retail and commercial uses along California Street include a Stop and Shop shopping plaza and a series of other small businesses. Given its transit-oriented, mixed-use location, the proposed Project is able to successfully integrate into existing development patterns.

Density

The Developer intends to build 204 homes on approximately 3.4 acres, 2.6 of which are buildable. The resulting density is approximately 80 units per buildable acre, which is acceptable given the proposed housing type and the Project's location within an existing mixed-use neighborhood.

Conceptual Site Plan

The site plan consists of two mixed-use structures that are configured in a manner that breaks down the Site into a series of smaller blocks. The larger building to the north of Riverdale Avenue and Los Angeles Street is U-shaped, with a break in the middle of the building at ground level that creates views through the Site to Charles River beyond. The building's two wings extend towards the riverfront to frame a wide courtyard that facilitates this view. The second smaller building is L-shaped and is oriented so that its edges define the Riverdale Avenue and Los Angeles Street street-fronts and screens a small area of surface parking from view. Most of the Project's parking is tucked under each building, at grade with residential uses above. In total, 237 parking spaces are proposed for the Project, resulting in a parking ratio of 1.16 spaces per unit. The smaller building locates 17,000 square feet of commercial "innovation" space at the corner of Riverdale Avenue and Los Angeles to activate the street and bring a mix of uses to the ground level. The proposed Project further enhances pedestrian interaction and the public realm with its public courtyard area and recreational open space, which proposes additional retail uses, recreational amenities, thoughtful landscape design along the Charles River's edge, and connections with the adjacent Forte Park.

Environmental Resources

The Site is bounded on the northerly side by the Charles River and is located within the 100-foot Wetland Buffer and the 200-foot Riverfront Buffer. While the proposed Project locates its buildings further from the River than the existing structure, further review will be required from Newton's Conservation Commission and the Massachusetts Department of Conservation and Recreation. The northerly portion of the Site is also located within a floodplain Zone AE. Together, these natural resource areas amount to approximately 0.83 acres. The conceptual

design for the Project proposes recreational open space along the Charles River's edge which includes stormwater management area.

Topography

The majority of the Site is generally level and at grade. The topography is not an impediment to the proposed development.

(d) that the proposed Project appears financially feasible within the housing market in which it will be situated (based on comparable rentals or sales figures);

The Applicant proposes 204 rental apartments to be financed under the NEF Program. There will be 153 market-rate units with proposed average rent levels of \$2,350 for the studios; \$2,700 for the one-bedroom units; \$3,450 for the two-bedroom units; and \$4,250 for the three-bedroom units. MassHousing's Appraisal and Marketing team (A&M) performed a Competitive Market Analysis and found that proposed market rents fall within the range of adjusted and unadjusted rents for the studio, one-, two-, and three-bedroom market rents. They note further that based on the proposed amenities, the Project reflects a Class A property type.

(e) that an initial pro forma has been reviewed, including a land valuation determination consistent with the Department's Guidelines, and the Project appears financially feasible and consistent with the Department's Guidelines for Cost Examination and Limitations on Profits and Distributions (if applicable) on the basis of estimated development costs;

MassHousing commissioned an as "As-Is" appraisal which indicates a land valuation of \$10,150,000. Based on a proposed investment of \$28,500,262 in equity the development pro forma appears to be financially feasible and within the limitations on profits and distributions.

(f) that the Applicant is a public agency, a non-profit organization, or a Limited Dividend Organization, and it meets the general eligibility standards of the housing program; and

CPC Land Acquisition Company, LLC is a Limited Dividend Organization. The Applicant meets the general eligibility standards of the NEF housing subsidy program and has executed an Acknowledgment of Obligations to restrict their profits in accordance with the applicable limited dividend provisions.

(g) that the Applicant controls the site, based on evidence that the Applicant or a related entity owns the site, or holds an option or contract to acquire such interest in the site, or has such other interest in the site as is deemed by the Subsidizing Agency to be sufficient to control the site.

The Applicant controls the Site through a Purchase and Sale Agreement (P&S) between Legacy The River, LLC (Seller) and CPC Land Acquisition Company (Buyer), originally dated February 6, 2019 and amended as of July 29, 2019. The P+S has an expiration date which is 30 days after receipt of all permits and approvals necessary to entitle the Buyer to obtain building permits.

**LIST OF RELIEF/EXCEPTIONS/WAIVERS REQUESTED
RESIDENCES ON THE CHARLES**

The Applicant requests that the Zoning Board of Appeals grant a comprehensive permit in lieu of the following special permits, variances, licenses, and/or approvals without which the Project could not be constructed as proposed, and the denial of which in many instances would render the Project uneconomic, in accordance with the provisions of M.G.L. Chapter 40B, §20 et seq. References herein are to the Revised Ordinances of Newton 2017, as amended, of which Chapter 30 is the Zoning Ordinance.

ZONING ORDINANCE

1. Use

The Applicant seeks a comprehensive permit in lieu of special permits, licenses, variances, and/or approvals to allow the property to be used for the Project, including without limitation:

- (a) Special Permit under Section 4.3.2.B.1 to permit a development of over 20,000 square feet.
- (b) Variance to waive requirements of Section 5.11 to conform the provisions for affordable housing to the terms of the application, if and to the extent necessary.
- (c) Waiver of the procedural requirement of a model as provided in Section 7.3.1.B and for the obligation to provide plans prepared as provided in Section 7.4.3 in connection with the application for a special permit under Section 7.3.1.
- (d) Variance to allow residential, retail, personal services, fast food, dry cleaners, and restaurant uses under Section 4.4.1.
- (e) Waiver of the requirement for a finding of conservation and energy efficiency under Section 7.3.3.C.5 and Section 7.4.5.B.8.
- (f) Special Permit under Section 4.4.1 and Section 6.4.29 for restaurant having over 50 seats.
- (g) Special Permit under Section 4.4.1 for school or other educational purposes, for-profit.
- (h) Special Permit under Section 4.4.1 for ATM, standalone.

2. Density and Dimensional Controls

The Applicant seeks a comprehensive permit in lieu of such special permits, variances, and/or approvals as may be required from or under Section 4.3 for construction of the project in a Manufacturing District, including without limitation the following waivers from the dimensional requirements of Section 4.3.3 as follows:

Zoning Category	Required/Allowed	Existing	Proposed	Waiver (Y/N)
Minimum Lot Area	0.23 acres (10,000 square feet)	3.41 acres (148,563 square feet)	3.48 acres (151,944 square feet)	N
Lot Frontage (Los Angeles Street)	N/A	225.0'	225.0'	N
Lot Coverage	N/A	0.36	.50	N
Front Setback	Greater of 15 feet or ½ building height (28.09')	109.7' (Bldg 1 Riverdale) 29.8' (Bldg 1Midland) 91.3' (Bldg 2 LA Street) 0.4' (Bldg 2 Midland)	26.5' (Bldg 1 Riverdale) 5' (Bldg 1 Midland) 6.9' (Bldg 2 LA Street) 4.1' (Bldg 2 Midland)	Y
Side Yard Building Setback	Greater of 20 feet or ½ building height (28.09')	19.5' (Bldg 1) 6.9' (Bldg 2)	15.1' (Bldg 1) 5.0' (Bldg 2)	Y
Side Yard Parking Setback	5.0'	230+/-' (Bldg 1) 1.0' (Bldg 2)	18.8' (Bldg 1) 2.0' (Bldg 2)	Y
Rear Yard Building Setback	Greater of 20 feet or ½ building height (28.09')	1.0' (Bldg 1) 3.6' (Bldg 2)	14.3'(Bldg 1) 12.6'' (Bldg 2)	Y
Rear Yard Parking Setback	5.0'	1.0'(Bldg 1) 3.6' (Bldg 2)	20.6'(Bldg 1) 7.2' (Bldg 2)	N
Building Height	36'	21.5'	56.2'	Y
Maximum Number of Stories	3 stories	2 stories	5 stories	Y
Floor Area Ratio	1.50	0.37	2.18	Y
Minimum Open Space	N/A	15.4%	30.6%	N
Lot Area Per Unit	N/A	N/A	704 square feet/unit	N

3. Parking Requirements

The Applicant seeks a comprehensive permit in lieu of a special permit pursuant to Section 5.1.13 in order to permit a parking facility in accordance with the submitted plans and to deviate from *inter alia* the following requirements:

- (a) To the extent Section 5.1.3.E prevents assignment of parking spaces to unit owners, a waiver is sought from that provision.
- (b) Requirement that no parking locate within 5 feet of a rear or side lot line pursuant to Section 4.3.3.
- (c) Requirement that two parking stalls be provided for each dwelling unit in an apartment house, garden apartment, or attached dwellings under Section 5.1.4.A.
- (d) Requirement that one parking stall be provided for every 250 square feet of office space pursuant to 5.1.4.A.
- (e) Parking requirement of 271 stalls pursuant to Section 5.1.4.A.
- (f) Application for parking and loading facility permit under Section 5.1.5.
- (g) Requirement that parking stalls may not be located within 5 feet from any building containing dwelling units under Section 5.1.8.A.2.
- (h) Requirement that parking stalls have a minimum stall width of at least nine feet pursuant to Section 5.1.8.B.1 and a minimum stall depth of at least nineteen feet under Section 5.1.8.B.2.
- (i) Requirement that handicapped stalls have a width of at least 12 feet and a minimum stall depth of at least nineteen feet under Section 5.1.8.B.4 pursuant to Section 5.1.13.
- (j) Requirement that end stalls restricted on one side by curbs, walls, fences or other obstructions shall have maneuvering space at the aisle end of at least five (5) feet in depth and nine (9) feet in width under Section 5.1.8.B.6.
- (k) Requirement under Section 5.1.8.C.1 and C.2 that 90 degree parking stalls in a two way traffic aisle shall have minimum maneuvering width of 24 feet.
- (l) Requirement of minimum and maximum driveway widths under 5.1.8.D.
- (h) Requirement under Section 5.1.9.A as to parking lot screening and interior landscaping requirements for outdoor parking facilities of 20 stalls or more if necessary.
- (i) Lighting requirements under Section 5.1.10.A.1 and A.2 as appropriate.
- (j) Bicycle parking requirements under Section 5.1.11.

- (k) To the extent necessary, a waiver from the off-street loading requirements contained in Section 5.1.12.C.
- (l) Under Section 5.1.12.D.3 a waiver is sought in lieu of any consent of the City Engineer as to drainage of the parking facility.
- (m) Any other relief which may be necessary or appropriate and may be granted by the City Council under Section 5.1.13 in order to conform the waivers sought to the plans submitted.

4. Other

- (a) To the extent necessary, a waiver of the sustainable design requirements under Section 5.12.
- (b) To the extent necessary, a waiver of the requirement that the building(s) will contribute significantly to the efficient use and conservation of natural resources and energy under Section 7.3.3.C.5.
- (c) The Applicant seeks a waiver of all provisions relating to I and I.
- (d) The Applicant requests a comprehensive permit in lieu of site plan approval required under Section 7.4 in connection with special permits granted under Section 7.3.
- (e) The Applicant seeks a waiver of the requirements for the number, size, location, and types of signs allowed pursuant to Section 5.2, the sign permit procedures under Section 5.2.4, and, insofar as applicable, any hearing or procedure before the Urban Design and Beautification Commission.

NON-ZONING ORDINANCES

1. Public Tree Ordinance (Revised Ordinances Chapter 21 and M.G.L. c. 87)

Chapter 21, §21-72, §§21-80 through 21-90 and G.L. Chapter 87 require a permit and payment of fees for the removal of certain trees, and in some instances, a contribution to the tree replacement fund. To the extent that any permit, fee payment or contribution would otherwise be required under §21-72, §§21-80 through 21-90, or G.L. Chapter 87, the Applicant requests a comprehensive permit in lieu of such permit, fee payment or contribution.

2. Demolition Delay (Revised Ordinances Chapter 22)

§22-50 et seq. provides for a review by the Newton Historical Commission and the possible imposition of a demolition delay for demolition of historically significant buildings. To the extent any elements of the property are deemed to fall within the jurisdiction of the Newton Historical Commission under §22-50 and such elements will be demolished, the Applicant seeks a comprehensive permit in lieu of demolition review or a determination that such structures are preferably preserved.

3. Outdoor Lighting (Revised Ordinances Chapter 20)

Revised Ordinances Chapter 20 §20-23 – 20-28 provide limitations on installation of light sources which do not conform to the criteria stated. §20-26 provides for waivers to be granted by the Planning and Development Board. To the extent that any light source may not conform to the requirements of §20-24 or that the requirements of that section may be inconsistent with § 30-19, the Applicant seeks a comprehensive permit in lieu of any waiver requested under §20-26.

4. Floodplain, Watershed Protection Ordinance (Revised Ordinances Chapter 22)

A portion of the property is located within the City of Newton Floodplain/Watershed Protection District governed by § 22-22 et seq. To the extent that any relief is necessary for the project from the Conservation Commission under the Floodplain/Watershed Protection Ordinance, the Applicant seeks a comprehensive permit in lieu of such approvals.

5. Consent of the Planning Board

To the extent any consent or review of the Planning Board is required under Planning Board rules, a comprehensive permit in lieu of such approval is sought.

6. Curb Cut Permit (Revised Ordinances Chapter 26)

The applicant requests a comprehensive permit in lieu of any sidewalk crossing permits or consent of the Commissioner of Public Works to the extent necessary to comply with the requirements of Revised Ordinances §26-65.

7. Utility Connection Permits (Revised Ordinances Chapters 23, 26, and 29)

The applicant seeks a comprehensive permit in lieu of such local approvals as are required under Revised Ordinances §§23, 26, and 29 or otherwise to (i) open streets, (ii) make utility connections for water, sewer, stormwater, gas, electric, cable, or other utilities or (iii) cross sidewalks from time to time.

8. Fences (Revised Ordinances Chapter 5)

To the extent needed, the Applicant seeks a comprehensive permit in lieu of obtaining a fence permit from the Commissioner of Inspectional Services under §5-30.

9. Amended Relief

The Applicant seeks a comprehensive permit for such amendments to the relief sought herein as may be required to conform the relief sought to the plans as filed or to any amendments thereof filed in connection with the actions of the Zoning Board of Appeals or the Housing Appeals Committee.

10. Additional Relief

The Applicant seeks a comprehensive permit in lieu of all other permits, licenses, variances, and approvals as may be issued by the City of Newton as necessary to conform the relief sought to the plans filed with this Application, as the same may be amended from time to time. Included within the relief sought are all ancillary, subsidiary, usual, customary, or necessary local permits, licenses, variances, or approvals in lieu of which the Board may grant a comprehensive permit to the extent necessary to conform the relief granted to the plans submitted herewith as amended from time to time.

RESIDENCES ON THE CHARLES PARKING CALCULATION

RESIDENTIAL

Section 5.1.4.A requires 2 parking stalls per residential unit

204 proposed units

204 units x 2 parking stalls/unit = 408 parking stalls

Total Residential Parking Requirement: 408 parking stalls

Total Residential Parking Stalls Provided: 204 parking stalls

Total Residential Parking Waiver Requested: 204 parking stalls¹

NOTE: The exact mix of commercial tenants and the space which each would occupy is not established at this time. Consequently, the parking calculation for the commercial uses at the site is based on a projected mix of uses and associated space. This projection assumes a mix of uses with higher parking requirements, such as restaurants and retail uses. In so doing, the projection is aimed at determining the highest parking requirements which might possibly come into play. In determining the projected number of seats for restaurants and the number of employees for restaurant and retail uses, the development team has made inquiries of design professionals and operators of similar businesses.

COMMERCIAL

(including retail sales, restaurant, and office uses)

1. Retail Uses (2,100 SF):

Section 5.1.4.A requires 1 parking stall per 300 square feet plus 1 stall per 3 employees

2,100 SF = 7 parking stalls (1/300 SF)

Employees: 6 Employees = 2 parking stalls (1/3 employees)

Total: 9 parking stalls

Total Retail Parking Requirement: 9 parking stalls

2. Restaurant Uses:

Section 5.1.4.A requires 1 parking stall per 3 seats plus 1 parking stall per 3 employees

¹ Pursuant to Section 5.1.4.A of the Zoning Ordinance, the City Council could grant a special permit to allow 1.25 parking stalls per unit. If this relief were granted, the residential parking requirement would be 255 stalls and the waiver would be for 51 stalls.

Projected 24 Seat Cafe: 24 Seats = 8 parking stalls (1/3 seats)
Employees: 3 = 1 parking stall (1/3 employees)
Total: 9 parking stalls

Total Restaurant Parking Requirement: 9 parking stalls

3. Office Use

Section 5.1.4.A requires 1 parking stall per 250 square feet

17,782 SF = 72 parking stalls (1/250 SF)
Total: 72 parking stalls

Total Office Use Parking Requirement: 72 parking stalls*

Total Commercial Parking Requirement: 9+9+72 = 90 parking stalls

Total Commercial Parking Stalls Provided: 23 parking stalls

Total Commercial Parking Waiver Requested (pursuant to Section 5.1.13): 67 parking stalls²

**Total Residential and Commercial Parking Requirement:
408+90 = 498**

Total Parking Provided: 227 stalls

Total Residential and Commercial Parking Waiver Requested: 271 parking stalls

(Total Residential and Commercial Parking Waiver Requested if Section 5.1.4.A special permit reduction to residential parking requirement and Section 5.1.4.C reduction in commercial parking are factored in: 51+37= 88 parking stalls)

² Pursuant to Section 5.1.4.C of the Zoning Ordinance, the City Council could grant a special permit for up to a 1/3 reduction in the parking requirement for the proposed commercial uses. Reduced by a third, the parking requirement would be 60 stalls and the waiver would be for 37 stalls. This methodology has been used in previous special permit projects in the city, including at Washington Place.



Ruthanne Fuller
Mayor

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Barney S. Heath
Director

ZONING REVIEW MEMORANDUM

Date: January 2, 2020

To: John Lojek, Commissioner of Inspectional Services

From: Jane Santosuosso, Chief Zoning Code Official
Jennifer Caira, Chief Planner for Current Planning

Cc: Legacy the River, LLC
Stephen Buchbinder, Attorney
Barney S. Heath, Director of Planning and Development
Jonah Temple, Assistant City Solicitor

RE: Request for a Comprehensive Permit to construct a mixed-use development with 204 residential units, 22,382 square feet of commercial space and 227 on-site parking stalls

Petitioner: Legacy the River, LLC	
Site: 15 Riverdale Avenue	SBL: 11002 0007
Zoning: MAN	Lot Area: 128,887 square feet
Current use: Vacant office space and distribution	Proposed use: Residential and mixed commercial

BACKGROUND:

A Comprehensive Permit under MGL Chapter 40B is requested for a development of a 2.96-acre parcel along the Charles River. The parcel is divided by Midland Avenue, a private way. The proposed development consists of two buildings with a total of 204 residential dwelling units, 22,382 square feet of retail and innovation space and 227 parking stalls. The site was used for the manufacture of computer parts until 2002, when it was converted into office space and a distribution center for the Boston Globe. The office space is now vacant but the newspaper distribution center is still operational. The petitioner intends to raze the existing structures and construct two mixed use buildings and surface parking. The section of Midland Ave from the western property boundary with 8 Midland Ave to the westernmost property boundary will be abandoned and will operate as an internal driveway.

The following review is based on plans and materials submitted to date as noted below.

- Comprehensive Permit Application, prepared by Stephen J. Buchbinder, attorney, dated 9/12/2019
- Zoning Analysis, submitted 8/21/2019

- Existing Conditions plan, prepared by Allen & Major Associates, Inc, dated 8/15/2019
- Schematic Layout and Materials Plan, prepared by Allen & Major Associates, Inc, dated 8/15/2019
- Schematic Drainage Plan, prepared by Allen & Major Associates, Inc, dated 8/15/2019
- Layout Plan Building A, prepared by Icon Architecture, submitted 11/21/2019
- Layout Plan Building B, prepared by Icon Architecture, submitted 11/21/2019
- Materials Plan Building A, prepared by Icon Architecture, submitted 11/21/2019
- Materials Plan Building B, prepared by Icon Architecture, submitted 11/21/2019
- Grading and Drainage Plan, prepared by Icon Architecture, submitted 11/21/2019
- Spot Grade Plans, Buildings A and B, prepared by Icon Architecture, submitted 11/21/2019

ADMINISTRATIVE DETERMINATIONS:

1. The subject site is located in the Manufacturing zoning district. The petitioner proposes to construct two buildings (to be known as Buildings “1” and “2”) to be used for 204 residential dwellings, 17,782 square feet of office space and 4,600 square feet of retail. While the office use is allowed per section 4.4.1, residential and retail uses are prohibited in the Manufacturing district. The petitioner seeks relief from the requirement of a use variance through a Comprehensive Permit.
2. The petitioner proposes to construct a 245,770 square foot (gross floor area) mixed use development. Per section 4.3.2.B.1, a special permit is required for any development in the Manufacturing district of 20,000 square feet or more of new gross floor area. The petitioner seeks relief from the special permit requirements through a Comprehensive Permit.
3. The required front setback in the Manufacturing district is the greater of 15 feet or half the building height, or the average of the buildings on either side per section 4.3.3. Building 1 has no abutting structures from which to pull an average, and is proposed at 56.2 feet in height, creating a front setback requirement of 28.1 feet. The building is proposed with a front setback of 5 feet from Midland Avenue and 26.5 feet from Riverdale Avenue, requiring a Comprehensive Permit in lieu of a variance.

Building 2 is across Midland Avenue from Building 1, and is proposed with a height of 44.5 feet, creating a 22.25-foot front setback requirement. The building is proposed at 6.9 feet from Los Angeles Street, and 4.1 feet from Midland Avenue, requiring a Comprehensive Permit in lieu of a variance.

4. Per section 4.3.3, the side setback requirement is the greater of one-half the building height or 20 feet when abutting a residential or public use district. Building 1 is bordered on each side and the rear by land owned by the City of Newton or the State of Massachusetts, thus zoned Public Use. Building 1 is proposed at 56.2 feet in height, and therefore has a required side yard setback minimum of 28.1 feet. The building is proposed at 26.5 feet from the western property line, requiring relief from section 4.3.3 through the Comprehensive Permit in lieu of a variance.

Building 2 is abutted by properties zoned Manufacturing and is required to have a side setback of half the building height. Building 2 is proposed at 44.5 feet in height resulting in a side setback of 22.25 feet. The building is proposed with a side setback of 5 feet, requiring relief through the Comprehensive Permit.

5. Per section 4.3.3 the required rear setback in the Manufacturing district is the greater of half the building height or 20 feet when abutting a residential or Public Use district. Building one is proposed with a rear setback of 14.3 feet where 22.25 feet is required. The portion of the property with the proposed Building 2 is abutted at the rear by a parcel zoned Manufacturing, resulting in a rear setback requirement of 22.25 feet. The proposed rear setback is 12.6 feet, requiring relief through the Comprehensive Permit in lieu of a variance.
6. The maximum height allowed in the Manufacturing district is 24 feet by right and 36 feet by special permit per section 4.3.3. The proposed height of Building 1 is 56.2 feet, and the proposed height of Building 2 is 44.5 feet. Both buildings require relief from the height requirements of section 4.3.3 through the Comprehensive Permit in lieu of a variance.
7. Building 1 is proposed with five stories, and Building 2 is proposed with four. Per sections 4.3.2.B.3 and 4.3.3, the maximum number of stories allowed in the Manufacturing district is two by right, and three by special permit. The petitioner's requested five stories in Building 1 and four stories in Building 2 require relief from the maximum number of stories through a Comprehensive Permit in lieu of a variance.
8. The maximum allowed FAR in the Manufacturing district per section 4.3.3 is 1.50 for a building with three stories. The petitioner proposes an FAR of 2.09. To exceed the allowable FAR of 1.50 requires relief from section 4.3.3 through the Comprehensive Permit in lieu of a variance.
9. Section 4.3.3 requires that no parking locate within 5 feet of a rear or side lot line. The petitioner proposes parking as close as 2 feet from the side lot line at Building 2, requiring a Comprehensive Permit in lieu of a variance.
10. The petitioner proposes 4,600 square feet of commercial (non-office) space on the ground floor. The proposed uses may include retail, personal services, fast food, restaurant, and dry-cleaning uses. Per section 4.4.1, these uses are prohibited in the Manufacturing district, requiring relief through the Comprehensive Permit in lieu of a variance.
11. Per sections 4.4.1 and 6.4.29, a special permit is required to allow restaurants with more than 50 seats. The petitioner requests relief through the Comprehensive Permit to allow for restaurants with more than 50 seats in lieu of a special permit.
12. Per section 4.4.1 a special permit is required for a for profit school or other educational purpose. The petitioner requests relief through the Comprehensive Permit to allow for a for-profit school and other for-profit educational uses in lieu of a special permit.
13. Per section 4.4.1 a special permit is required for a stand-alone ATM. The petitioner requests relief through the Comprehensive Permit to allow for stand-alone ATMs in lieu of a special permit.
14. Section 5.1.3.E requires a special permit to allow for assigned parking stalls. To the extent that parking stalls will be assigned to individual unit owners, a waiver through the Comprehensive Permit is required in lieu of a special permit.

15. The petitioner proposes to construct 227 parking stalls, with 182 located under Building 1 and 46 under Building 2. The stalls will be available for use between the two lots. Parking areas are located at ground level, in facilities that are open at the sides or completely uncovered. There are 204 residential units proposed, as well as 22,382 square feet of commercial space. While no commercial tenants have been confirmed, based on the available information included in the application, the following parking calculation is presumed.

Use	Parking Regulation	Parking Required
204 Residential units	2 stall per unit	408 stalls
Office 17,782 square feet	1 stall per 250 square feet	72 stalls
Restaurant 24 seats 3 employees	1 stall per 3 seats 1 stall per 3 employees	9 stalls
Retail/Personal Service 2,100 square feet 6 employees	1 stall per 300 square feet 1 stall per 3 employees	9 stalls
TOTAL		498 stalls

There are 227 parking stalls proposed for the site. The petitioner anticipates a requirement of 498 parking stalls based on the calculation above without any special permit exceptions allowing for reductions. Per section 5.1.4, a waiver of 271 stalls is required through the Comprehensive Permit in lieu of a special permit.

Section 5.4.1.A allows for a reduction in the residential requirement to 1.25 stalls per unit from two per unit, which would reduce the requirement from 408 to 255 stalls. Section 5.1.4.C allows the Council to grant a special permit to reduce the total stalls required in a development with three or more uses by up to 1/3, which would reduce the commercial requirement from 90 to 60 stalls. By special permit, the total parking requirement could be reduced from a total of 498 to 315 stalls, which would require a reduced waiver of 88 stalls.

16. Section 5.1.5 requires that parking facilities with more than five stalls and any loading facility provide to the Commissioner of Inspectional Services an off-street parking and loading plan for review. The petitioner seeks to waive the provisions of this section through the Comprehensive Permit in lieu of a special permit.
17. Per section 5.1.8.B.1 and 2 require that parking stalls measure 9 feet in width by 19 feet in depth for angle parking and 21 feet for parallel parking. The petitioner proposes several reduced angled parking stalls with the smallest measuring 8 feet wide by 16 feet deep, and parallel stalls with 18 feet in depth. To reduce the parking stall dimensions requires relief through the Comprehensive Permit in lieu of a special permit.
18. Section 5.1.8.B.4 requires a minimum depth of 19 feet for a handicapped parking stall. This requirement is particular to the Newton Zoning Ordinance and not a requirement of Massachusetts Architectural

Access Board. To the extent that any of the proposed handicapped parking stalls are deficient in depth, a waiver per section 5.1.13 is required through the Comprehensive Permit in lieu of a special permit.

19. Section 5.1.8.B.6 end stalls restricted on one or both sides by curbs, walls, fences or other obstructions must have maneuvering space at the aisle end of the at least 5 feet in depth and 9 feet in width. To the extent that the end stalls proposed in the parking facilities do not meet the requirements of this provision, relief through the Comprehensive Permit is required in lieu of a special permit.
20. Section 5.1.8.C.1 requires 24-foot wide two-way access aisles in parking facilities. The petitioner proposes aisles as narrow as 20 feet at Building 2, requiring relief through the Comprehensive Permit in lieu of a special permit.
21. Section 5.1.9.A requires screening of outdoor parking facilities containing more than five stalls. While the bulk of the parking stalls are covered by the buildings, 38 parking stalls are partially or completely exposed. No screening for these parking stalls from abutting properties is shown on any plan, requiring relief through the Comprehensive Permit in lieu of a special permit.
22. Section 5.1.10.A requires that outdoor parking facilities provide security lighting that maintains a minimum of one-foot candle on the entire surface of the facility and does not spill onto other properties. Where appropriate, the petitioner seeks relief from this section through the Comprehensive Permit in lieu of a special permit.
23. Section 5.1.12 requires that off-street loading facilities be provided. With the proposed commercial space of 22,382 square feet, one off-street loading bay is required. To the extent necessary, the petitioner seeks a waiver from the off-street loading requirements through the Comprehensive Permit in lieu of a special permit.
24. The petitioner seeks a waiver of sign permit procedures and dimensional requirements under section 5.2 through the exceptions provided in special permit provisions of section 5.2.13 through the Comprehensive Permit in lieu of a special permit.
25. Section 5.11 of the Zoning Ordinance provides requirements for providing affordable units for private residential developments. To the extent that Section 5.11 of the Zoning Ordinance is applicable to the project, a comprehensive permit is requested from Section 5.11 to conform to the affordability elements of the proposed development to the requirements of the Zoning Ordinance.
26. Section 5.12 requires that any development in excess of 20,000 square feet must meet green building standards. To the extent necessary, the petitioner seeks a Comprehensive Permit in lieu of a special permit waiving this requirement.
27. Section 7.3.1.B requires that a petitioner submit a 3D computer-generated model of a proposed multi-family project with more than 20,000 square feet. The petitioner requests a waiver from this provision through the Comprehensive Permit.

28. The petitioner requests a Comprehensive Permit in lieu of site plan approval required under section 7.4 in connection with special permits granted under section 7.3.
29. Revised Ordinances Sections 20-23 to 20-28 provide limitations on installation of light sources which do not conform to the criteria of the Ordinances. Section 20-26 provides for waivers to be granted by the Planning Board to the extent that any light source does not conform to the requirements of Section 20-24. To the extent that any light source may not conform to these requirements, or that these requirements may be inconsistent with Section 5.1.10.A, the Petitioner seeks a waiver.
30. Sections 21-72 and 21-80 through 21-90 and G.L. Chapter 87 require a permit and payment of fees for the removal of certain trees and in some instances, a contribution to the tree replacement fund. To the extent that any permit, fee payment or contribution would otherwise be required under section 21-72 and 21-80 through 21-90, or G.L. Chapter 87, the petitioner requests a Comprehensive Permit in lieu of such permit, payment or contribution.
31. The rear portion of the property is located within the City of Newton Floodplain/Watershed Protection District governed by section 22-22 in its entirety. To the extent that any relief is necessary for the project from the Conservation Commission under the Floodplain/Watershed Protection Ordinance, the petitioner seeks a Comprehensive Permit in lieu of such approvals.
32. To the extent that any consent or review by the Planning Board is required under Planning Board rules, a Comprehensive Permit in lieu of such approval is required.
33. The Petitioner seeks a permit to cross the sidewalk under the provisions of Section 26-65 Construction of Sidewalks, Driveways and Driveway Entrances.
34. The Petitioner seeks a permit to connect to the public water supply, per Section 29, Article II of the Newton City Ordinances.
35. Per Section 29, Article III, the Petitioner seeks a permit for connection to the public sewer system.
36. The Petitioner seeks a permit for the storm sewer connection under Section 29, Article IV, or otherwise for the project's overflow discharge of storm water to the City's storm drain system.
37. To the extent necessary, the petitioner seeks a Comprehensive Permit in lieu of meeting the provisions of section 5-30, Article III pertaining to fences.
38. The Petitioner seeks any relief from local rules and regulations, and any additional required local approvals as may be necessary for approval for the Comprehensive Permit plans as may be amended prior to the termination of the public hearing.
39. The petitioner seeks a Comprehensive Permit in lieu of all other permits, licenses, variances and approvals as may be issued by the City of Newton as necessary to conform the relief sought to the plans filed with this application.

Zone: MAN	Required	Existing	Proposed
Lot Size	10,000 square feet	128,887 square feet	No change
Setbacks – Building 1 <ul style="list-style-type: none"> • Front (Midland) • Front (Riverdale) • Side • Rear 	<ul style="list-style-type: none"> • ½ building height (28.1 feet) 	<ul style="list-style-type: none"> • 29.8 feet • 19.5 feet • 89.6 feet 	<ul style="list-style-type: none"> • 5 feet • 26.5 feet • 15.1 feet • 14.3 feet
Setbacks – Building 2 <ul style="list-style-type: none"> • Front (Los Angeles) • Front (Midland Ave) • Side • Rear 	<ul style="list-style-type: none"> • ½ building height (22.25 feet) 	<ul style="list-style-type: none"> • 0.4 feet • 7 feet • 132 feet 	<ul style="list-style-type: none"> • 6.9 feet • 4.1 feet • 5 feet • 12.6 feet
Building Height <ul style="list-style-type: none"> • Building 1 • Building 2 	<ul style="list-style-type: none"> • 24 feet 	<ul style="list-style-type: none"> • 21.5 feet • 9 feet 	<ul style="list-style-type: none"> • 56.2 feet • 44.5 feet
Max number of stories <ul style="list-style-type: none"> • Building 1 • Building 2 	<ul style="list-style-type: none"> • 2 	<ul style="list-style-type: none"> • 2 • 1 	<ul style="list-style-type: none"> • 5 • 4
Parking stalls	498		227

40. See “Zoning Relief Summary” below:

Zoning Relief Required		
Ordinance		Action Required
§4.3.2.B.1 §7.3	Waive the special permit requirement for a development with more than 20,000 square feet	C.P. per MGL c 40B
§7.3.1.B §7.6	Waive requirement for a 3D model	C.P. per MGL c 40B
§4.3.3 §7.6	Waive required front setback	C.P. per MGL c 40B
§4.3.3 §7.6	Waive required side setback	C.P. per MGL c 40B
§4.3.3 §7.6	Waive required rear setback	C.P. per MGL c 40B
§4.3.2.B.3 4.3.3 §7.6	Waive maximum height	C.P. per MGL c 40B
§4.3.2.B.3	Waive maximum number of stories	C.P. per MGL c 40B

§4.3.3 §7.6		
§4.3.3 §7.6	Waive maximum FAR	C.P. per MGL c 40B
§4.3.3 §5.1.13 §7.3	To allow parking within 5 feet of a setback	C.P. per MGL c 40B
§4.4.1 §7.6	To allow residential, retail, personal services, fast food, dry cleaners and restaurant uses	C.P. per MGL c 40B
§4.4.1 §7.3	To allow a standalone ATM	C.P. per MGL c 40B
§4.4.1 §6.4.29 §7.6	To allow a restaurant with more than 50 seats	C.P. per MGL c 40B
§4.4.1 §7.3	To allow for profit educational uses	C.P. per MGL c 40B
§5.1.3.E §5.1.13 §7.3	To allow assigned parking	C.P. per MGL c 40B
§5.1.4.A §5.1.13 §7.3	To allow a waiver of 271 parking stalls	C.P. per MGL c 40B
§5.1.5 §5.1.13 §7.3	Waive the requirement to provide an off-street parking and loading plan	C.P. per MGL c 40B
§5.1.8.B.1 and 2 §5.1.13 §7.3	Waive minimum parking stall dimensions	C.P. per MGL c 40B
§5.1.8.C.1 and 2 §5.1.13 §7.3	Waive minimum maneuvering aisle dimensions	C.P. per MGL c 40B
§5.1.8.D §5.1.13 §7.3	Waive minimum/maximum driveway width	C.P. per MGL c 40B
§5.1.9.A §5.1.13 §7.3	Waive perimeter landscaping requirements	C.P. per MGL c 40B
§5.1.10.A.1 §5.1.13 §7.3	Waive lighting requirements for outdoor parking	C.P. per MGL c 40B
§5.1.10.A.2 §5.1.13 §7.3 §20-26	Waive lighting requirements for outdoor parking regarding light spill onto neighboring properties	C.P. per MGL c 40B

§5.1.12 §5.1.13 §7.3	Waive off-street loading requirements	C.P. per MGL c 40B
§5.1.11 §5.1.13 §7.3	Waive bicycle parking requirements	C.P. per MGL c 40B
§5.2 §7.3	Waive all sign regulations and procedures	C.P. per MGL c 40B
§5.11 §7.6	Waive inclusionary zoning	C.P. per MGL c 40B
§5.12 §7.6	Waive sustainable development design standards	C.P. per MGL c 40B
§7.4 §7.3 §7.6	Waive site plan approval procedures	C.P. per MGL c 40B
§20-23 §20-28	Waive Light Trespass provisions	C.P. per MGL c 40B
§21-72 §21-80 §21-90 G.L. Chapter 87	Waive requirement for a permit or fee for tree removal, or contribution to a tree replacement fund	C.P. per MGL c 40B
§22-22	Waive relief from Conservation Commission under the Floodplain/Watershed Protection Ordinance	C.P. per MGL c 40B
	Waive requirement for Planning Board review	C.P. per MGL c 40B
§26-65	Permit to cross the sidewalk and connect to the street	C.P. per MGL c 40B
§29, Article II	Permit to connect to public water supply	C.P. per MGL c 40B
§29, Article III	Sewer connection permit	C.P. per MGL c 40B
§29, Article IV	Storm drain connection permit	C.P. per MGL c 40B
§5-30 Article III	Waive fence provisions	

CITY OF NEWTON ZONING SUMMARY & DIMENSIONAL REQUIREMENTS

ZONING DISTRICT: MANUFACTURING (M)

ITEM	REQUIRED/ALLOWED	EXISTING	PROPOSED
LOT AREA (MIN)	0.23 ACRES (10,000 S.F.)	3.41 ACRES (148,563± S.F.)	3.41 ACRES (148,563± S.F.)
LOT FRONTAGE (MIN)	--	225.0' (LA ST)	225.0' (LA ST)
LOT COVERAGE (MAX, BUILDING) (1) (6)	--	0.37	0.53
FRONT YARD BUILDING SETBACK (MIN)	GREATER OF 15' OR ½ BLDG HEIGHT (½ BH = 28.09)	109.7' (BUILDING 1 RIVERDALE) 29.8' (BUILDING 1 MIDLAND) 91.3' (BUILDING 2 LA STREET) 0.4' (BUILDING 2 MIDLAND)	26.5' (BUILDING 1 RIVERDALE) 5' (BUILDING 1 MIDLAND) 6.9' (BUILDING 2 LA STREET) 4.1' (BUILDING 2 MIDLAND)
SIDE YARD BUILDING SETBACK (MIN)	GREATER OF ½ BLDG HEIGHT OR 20' ABUTTING RESIDENTIAL OR PUBLIC DISTRICT (½ BH = 28.09)	19.5' (BUILDING 1) 6.9' (BUILDING 2)	15.1' (BUILDING 1) 5.0' (BUILDING 2)
SIDE YARD PARKING SETBACK (MIN)	5.0'	230±' (BUILDING 1) 1.0' (BUILDING 2)	18.8' (BUILDING 1) 2.0' (BUILDING 2)
REAR YARD BUILDING SETBACK (MIN)	GREATER OF ½ BLDG HEIGHT OR 20' ABUTTING RESIDENTIAL OR PUBLIC DISTRICT (½ BH = 28.09)	19.3' (BUILDING 1) 132.5' (BUILDING 2)	14.3' (BUILDING 1) 12.6' (BUILDING 2)
REAR YARD PARKING SETBACK (MIN)	5.0'	1.0' (BUILDING 1) 3.6' (BUILDING 2)	20.6' (BUILDING 1) 7.2' (BUILDING 2)
BUILDING HEIGHT (MAX, FEET)	36'	21.5'	56.2'
BUILDING HEIGHT (MAX, STORIES)	3 STORIES	2 STORIES	5 STORIES
FLOOR AREA RATIO (MAX) (2) (6)	1.50	0.37	2.18
BENEFICIAL OPEN SPACE (3) (6)	--	15.4%	30.6%
LOT AREA PER UNIT (4) (6)	--	--	704 S.F./UNIT
UNITS PER ACRE (4) (6)	--	--	61.84 UNITS/ACRE
UNITS PER BUILDABLE ACRE (4) (5) (6)	--	--	61.95 UNITS/ACRE

NOTES:

(1) CHAPTER 30: NEWTON ZONING ORDINANCE, SEC. 1.5 RULES OF MEASUREMENT, 1.5.2 LOT, D. LOT COVERAGE. THE PERCENTAGE OF THE LOT AREA WHICH IS COVERED BY BUILDINGS, INCLUDING ACCESSORY BUILDINGS.

(2) CHAPTER 30: NEWTON ZONING ORDINANCE, SEC. 1.5 RULES OF MEASUREMENT, 1.5.5 FLOOR AREA, A. FLOOR AREA RATIO. THE GROSS FLOOR AREA OF ALL BUILDINGS ON THE LOT DIVIDED BY THE TOTAL LOT AREA.

(3) CHAPTER 30: NEWTON ZONING ORDINANCE, SEC 8.3 DEFINED TERMS, OPEN SPACE, BENEFICIAL: AREAS NOT COVERED BY BUILDINGS OR STRUCTURES THAT ARE NOT AVAILABLE FOR ACTIVE OR PASSIVE RECREATION.

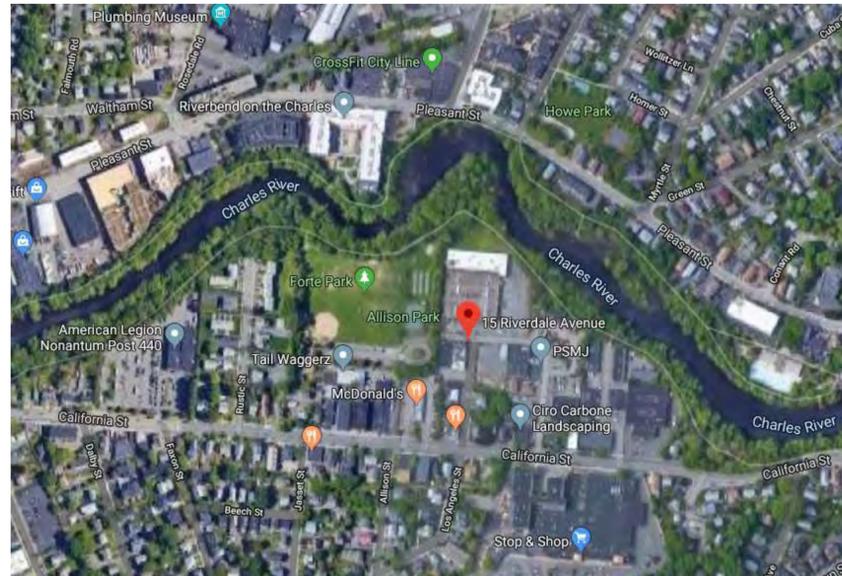
(4) THIS IS NOT A DIMENSIONAL STANDARD REQUIREMENT LISTED WITHIN THE ZONING ORDINANCE FOR MANUFACTURING DISTRICTS. (CHAPTER 30: ZONING ORDINANCE, 4.3.3 ALL BUILDING TYPES IN MANUFACTURING DISTRICTS), THIS HAS BEEN INCLUDED WITHIN THE SUMMARY TABLE PER REQUEST OF THE CITY OF NEWTON.

(5) THIS DEFINITION WAS NOT LOCATED WITHIN THE NEWTON ZONING ORDINANCE. IT HAS BEEN ASSUMED THE THE BUILDABLE LOT AREA IS THE AREA OF THIS LOT NOT INCLUDING THE 25 FT NATURALLY VEGETATED BUFFER (NVB) AREA.

(6) THIS HAS BEEN CALCULATED UTILIZING A LOT AREA EXCLUDING THE 40 FT WIDE SECTION OF MIDLAND AVE. THE LOT AREA USED IN THE CALCULATIONS = 143,715 SF.

* RELIEF WILL BE REQUIRED FROM NEWTON ZONING ORDINANCE.

LOCUS MAP:



PROJECT TEAM:

OWNER/DEVELOPER:

CPC LAND ACQUISITION COMPANY, LLC.
1601 Trapelo Road, #280
Waltham, MA 02451
781.890.5600

ARCHITECT:

ICON ARCHITECTURE
101 Summer Street, Boston, MA 02110
617.451.3333

SITE ENGINEER/ LAND SURVEYOR:

ALLEN & MAJOR ASSOCIATES, INC.
100 Commerce Way, Woburn, MA 01888-0118
781.935.6889

LANDSCAPE ARCHITECT:

COPLEY WOLFF DESIGN GROUP, INC.
10 Post Office Square, Suite 1315
Boston, MA 02109
617.654.9000



Residences on the Charles

**15 RIVERDALE AVENUE
NEWTON, MA
CPC Land Acquisition Company, LLC**

ISSUE DATE: 12/11/19

DRAWING LIST

CIVIL:

- V-101: EXISTING CONDITIONS PLAN
- C-001: ABBREVIATIONS & NOTES
- C-101: SITE PREPARATION PLAN
- C-102A: LAYOUT BUILDING 1
- C-102B: LAYOUT BUILDING 2
- C-103A: MATERIALS PLAN BUILDING 1
- C-103B: MATERIALS PLAN BUILDING 2
- C-104: GRADING & DRAINAGE PLAN
- C-105A: SPOT GRADE PLAN - BUILDING 1
- C-105B: SPOT GRADE PLAN - BUILDING 2
- C-106: UTILITIES PLAN
- C-107: SITE ELECTRICAL PLAN
- C-108: EROSION CONTROL PLAN
- C-109: SNOW STORAGE PLAN
- C-501: DETAILS
- C-502: DETAILS
- C-503: DETAILS
- C-504: DETAILS
- C-505: DETAILS
- E-101: LIGHTING PLAN

LANDSCAPE:

- L-000: TREE PROTECTION/REMOVAL PLAN
- L-100: LANDSCAPE PLAN
- L-200: LANDSCAPE LIGHT FIXTURES

ARCHITECTURAL:

- A-100: LOCUS PLAN
- A-101: GROUND LEVEL FLOOR & PARKING PLAN
- A-102: 2ND FLOOR PLAN
- A-103: 3RD FLOOR PLAN
- A-104: 4TH FLOOR PLAN
- A-105: 5TH FLOOR PLAN
- A-106: ROOF PLAN
- A-201: BUILDING ELEVATIONS
- A-202: PERSPECTIVES
- A-203: PERSPECTIVES
- A-204: PERSPECTIVES
- A-205: PERSPECTIVES
- A-206: PERSPECTIVES
- A-207: CONTEXT
- A-208: CONTEXT - MANUFACTURING
- A-209: CONTEXT - MILL BUILDINGS
- A-210: MATERIALS - STREET SIDE
- A-211: MATERIALS - COURTYARD
- A-301: BUILDING SECTIONS
- A-501: ENLARGED UNIT PLANS
- A-502: ENLARGED UNIT PLANS

GENERAL NOTES:

- THE EXISTING CONDITIONS PLAN WAS COMPLETED BY A&M ON AUGUST 15, 2019. SEE SHEET V-101 EXISTING CONDITIONS PLAN.
- ZONING DISTRICT IS MANUFACTURING, MAN.
- OVERALL LOT SIZE: 3.41± ACRES
- MAXIMUM CROSS SLOPE ON WALKS IN 66:1 (1.5%) AND MAXIMUM LONGITUDINAL SLOPE IS 22.5:1 EXCEPT WHERE OTHERWISE INDICATED ON THE DRAWINGS.
- THIS PROJECT WILL BE SERVED BY PUBLIC WATER, SEWER, PROPANE GAS, TELEPHONE, CABLE AND ELECTRIC. ALL UTILITY LINES WILL BE INSTALLED UNDERGROUND.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL MAIN BUILDING ENTRANCES AND SIDEWALK SHALL BE HANDICAP ACCESSIBLE PER ADA REGULATIONS.
- ALL SITE WORK DONE FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE SITE PLANS AND SITE WORK SPECIFICATIONS FOR CONSTRUCTION.
- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
- ALL DISTURBED AREAS SHALL BE MAINTAINED IN ACCORDANCE WITH THE EROSION CONTROL PLAN, MA DEP, AND THE REQUIREMENTS OF THE NEWTON CONSERVATION COMMISSION.
- ALL APPLICABLE PERMITS AND AN APPROVED SET OF PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRECONSTRUCTION MEETING WITH THE CITY, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAG MEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROL SHALL BE IMPLEMENTED ACCORDING TO THE MASS DEPARTMENT OF TRANSPORTATION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
- ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
- ALL BUILDING DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- ALL RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- ALL PARKING LOT AND AISLE DIMENSIONS ARE TAKEN FROM THE FACE OF CURB AND INDICATE EDGE OF PAVEMENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF NECESSARY BY ON SITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR REGULATORY AGENCIES HAVING JURISDICTION AT NO ADDITIONAL COST TO THE OWNER.
- CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL TRENCH EXCAVATION SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS. TRENCH EXCAVATION PERMITS ARE REQUIRED.

GRADING/DRAINAGE NOTES:

- THE STORMWATER DRAINAGE SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST STANDARDS OF THE CITY OF NEWTON. STORM DRAIN WORK WILL BE INSPECTED BY CITY OF NEWTON PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING PAVEMENT SHALL BE SAW-CUT AND PAVEMENT JOINT SHALL BE INSTALLED WHERE NECESSARY TO ENSURE A SMOOTH CONTINUOUS GRADE.
- THE ARCHITECTURAL PLANS SHALL BE REFERRED TO IN ORDER TO DETERMINE THE EXACT LOCATIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, HANDICAPPED RAMPS, TRUCK DOCKS, DUMPSTER PADS, ROOF DRAIN LATERALS AND PRECISE BUILDING DIMENSIONS.
- ALL GRADING OPERATIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
- WHEN INSTALLING ALL PIPES ENTERING STORM SEWER STRUCTURES THE LATEST STANDARDS OF THE CITY OF NEWTON SHALL BE FOLLOWED TO ENSURE WATER TIGHT CONNECTIONS. WATER TIGHT FITTINGS SHALL BE USED ON ALL PIPE CONNECTIONS.
- IN LANDSCAPED AREAS THE TOP ELEVATION OF MANHOLES SHALL BE FLUSH WITH FINISH GRADE. IN PAVED AREAS THE TOP ELEVATIONS OF MANHOLES SHALL MATCH FINISH GRADE.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SOON AS POSSIBLE UPON COMPLETION OF CONSTRUCTION WORK IN THE AREA. REFER TO EROSION CONTROL PLANS.
- TEMPORARY CATCH BASIN FILTERS SHALL BE INSTALLED AND MAINTAINED AT EXISTING DRAINAGE STRUCTURES DURING CONSTRUCTION, TO PRECLUDE SEDIMENT LADEN RUNOFF FROM ENTERING THE DRAINAGE SYSTEM UN-FILTERED.
- THE STORMWATER SYSTEMS SHALL BE INSPECTED BY A REPRESENTATIVE OF THE CITY OF NEWTON PRIOR TO BACKFILLING.
- CONTRACTOR SHALL NOTIFY ENGINEER IN ADVANCE OF BACKFILLING SO THAT AS-BUILT CONDITIONS CAN BE DOCUMENTED.

UTILITY NOTES:

- THE LATEST STANDARDS OF THE CITY OF NEWTON SHALL BE FOLLOWED WHEN INSTALLING ANY SANITARY SEWER AND STORM DRAIN WORK. BOTH SEWER AND STORM DRAIN WORK WILL BE INSPECTED BY CITY OF NEWTON PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL SEWER MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH CITY OF NEWTON CONSTRUCTION STANDARDS.
- THE LATEST STANDARDS OF THE CITY OF NEWTON SHALL BE FOLLOWED WHEN INSTALLING ANY WATER LINE WORK. WATER LINE WORK WILL BE INSPECTED BY CITY OF NEWTON PERSONNEL AND ALL COSTS SHALL INCLUDE PRESSURE TESTING, DISINFECTING, AND FLUSHING OF LINES. INSPECTION COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND REMOVAL OF ALL NECESSARY DISINFECTING AND FLUSHING TAPS AS DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND PROPANE GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
- ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
- THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
- THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:
SEWER - PVC (POLYVINYL CHLORIDE), SDR 35 OR DUCTILE IRON (DI)
DRAIN - HDPE (HIGH DENSITY CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INNER WALL), ASTM D2321 (UNLESS OTHERWISE SPECIFIED ON PLAN)
- RCP CLASS IV OR V (REINFORCED CONCRETE PIPE, WHERE SPECIFIED ON PLAN)
WATER - DUCTILE IRON (DI)
- BEFORE WORK BEGINS ON THE SEWER OR STORM DRAIN, THE CONTRACTOR WILL COORDINATE WITH THE CITY OF NEWTON THE APPROPRIATE PERMIT FEE AND INSPECTION FEE.
- ALL UTILITY CONNECTIONS THROUGH THE BUILDING WALL SHALL BE BY MEANS OF FLEXIBLE JOINTS.
- ALL WATER GATES TO PROPOSED HYDRANTS ARE 6" DIAMETER UNLESS NOTED.
- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND/OR STORM DRAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 8 LINEAR FEET CENTERED ON THE CROSSING.

EROSION AND SEDIMENTATION CONTROL NOTES:

- SILT CONTROL SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS TO SILT CONTROLS SHOWN ON THE APPROVED PLANS AS A RESULT OF ACTUAL FIELD CONDITIONS OR CONSTRUCTION PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH B.M.P. (BEST MANAGEMENT PRACTICES) PER THE E.P.A. 2018 "CONSTRUCTION GENERAL PERMIT" MANUAL. ANY SUCH MODIFICATIONS SHALL BE INSTALLED AS APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL CONDUCT INSPECTIONS AFTER EACH RAINFALL EVENT IN ADDITION TO WEEKLY INSPECTIONS CONDUCTED IN ACCORDANCE WITH THE CITY OF NEWTON REQUIREMENTS AND/OR MADEP.
- AREAS OF EXPOSED SOIL UNDERGOING CONSTRUCTION THAT WILL NOT BE COVERED AND OR FINISHED GRADED WITHIN 7 DAYS OF EXPOSURE SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL MEASURES WITHIN 7 DAYS OF DISTURBANCE. TEMPORARY EROSION CONTROL MEASURES SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, STRAW OR STRAW MULCH SHALL BE APPLIED AT THE RATE OF 4 BALES PER 1,000 SQUARE FEET. APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE. MULCH SHALL BE KEPT MOIST TO AVOID LOSS DUE TO WIND. MULCH AND NETTING SHALL BE APPLIED IN THE BASE OF ALL GRASSED WATERWAYS AND IN VEGETATIVE SLOPES WHICH EXCEED 15% AND DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS.
- IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY SEPTEMBER 15 OF THE CONSTRUCTION YEAR, THEN ALL DISTURBED AREAS SHALL BE SEEDING WITH A WINTER COVER CROP AT THE RATE OF 3 LBS PER 1,000 SQUARE FEET. SEE LANDSCAPE PLAN FOR ADDITIONAL MEASURES AS WELL. WINTER SEEDING SHALL BE COVERED WITH EROSION CONTROL MESH (MULCH AND NETTING). HEAVY GRADE MATS SHALL BE USED IN THE BASE OF ALL GRASSED WATERWAYS ON VEGETATED SLOPES IN EXCESS OF 15%, AND ANY DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS. MULCH AND NETTING SHALL ALSO BE PROVIDED FOR ADDITIONAL WINTER PROTECTION.
- ALL STOCKPILED TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEEDING WITH RYE AT 3LBS PER 1,000 SQUARE FOOT AND MULCHED, AND REUSED AS REQUIRED. SILTATION FENCING SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER AND ENGINEER.
- ALL FILTER BARRIERS, SILT SACKS, AND EROSION CONTROL BERMS SHALL BE INSTALLED ACCORDING TO THE EROSION CONTROL PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL THE FILTER BARRIERS AND EROSION CONTROL BERMS SHALL BE INSPECTED AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85-90% VIGOROUS PERENNIAL COVER OF GRASSES.
- RIVERDALE AVE AND LOS ANGELES STREET SHALL BE PERIODICALLY SWEEP OR WASHED TO AVOID TRACKING MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. A WATERING TRUCK WILL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS.
- THE CONTRACTOR SHALL USE EXTREME CAUTION TO AVOID ALLOWING SEDIMENTS TO ENTER THE STORM DRAIN SYSTEM DURING CONSTRUCTION. CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION BY THE USE OF CATCH BASIN FILTERS EACH INLET. FILTERS SHALL BE INSTALLED IN ALL EXISTING BASINS. INLET PROTECTION MAY BE REMOVED ONLY AFTER FINISHED AREAS ARE PAVED AND THE VEGETATED SLOPES ARE ESTABLISHED WITH AT LEAST 85-90% OF VIGOROUS PERENNIAL GROWTH.
- REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY UPON THE COMPLETION OF CONSTRUCTION. THIS INCLUDES LOAMING & SEEDING. SEE LANDSCAPE PLAN FOR SOIL AND SEED INFORMATION.
- EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISHED SEEDED AREAS AS SPECIFIED ON THE DESIGN PLANS.
- ALL CATCH BASIN FILTERS AND FILTER FABRIC SHALL REMAIN IN PLACE UNTIL SEEDINGS HAVE BECOME 85-90% ESTABLISHED. THE CITY OF NEWTON CONSERVATION COMMISSION MUST APPROVE THE REMOVAL OR RELOCATION OF ANY OF THE STRAW BALES AND FILTER FABRIC.
- AT THE OWNER'S DISCRETION ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED TO MAINTAIN STABILITY OF EARTHWORKS AND FINISHED GRADED AREAS. THE CONTRACTOR, AT HIS EXPENSE, WILL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY ADDITIONAL MEASURES AS SPECIFIED BY THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO REQUESTS FROM MA DEP AND THE MUNICIPALITY, AS AUTHORIZED BY THE OWNER. FAILURE TO COMPLY WITH THE OWNER'S DIRECTIONS WILL RESULT IN DISCONTINUATION OF CONSTRUCTION ACTIVITIES.
- INSPECTIONS AND MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. WEEKLY INSPECTIONS SHALL BE HELD THROUGH THE DURATION OF CONSTRUCTION ACTIVITY. WEEKLY INSPECTION REPORTS SHALL BE MAINTAINED IN THE CONTRACTOR'S FIELD OFFICE. IN ADDITION TO THE NORMAL WEEKLY INSPECTIONS, THE CONTRACTOR SHALL PERFORM AN INSPECTION OF ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL OR RUNOFF EVENT. INSPECTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE SITE'S DOWN STREAM DISCHARGE POINTS.
- IF ANY EVIDENCE OF SEDIMENTATION IS OBSERVED AT THE STORMWATER MANAGEMENT POND AREA INLETS, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE A PLAN TO THE ENGINEER TO REMOVE ANY ACCUMULATED SEDIMENT IN THESE AREAS. THE CONTRACTOR SHALL ALSO IMMEDIATELY PROVIDE ADDITIONAL ON SITE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT FURTHER DEGRADATION OF THE AREA.
- FOLLOWING THE TEMPORARY OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMIMONTHLY TO ENSURE THE AREAS HAVE A MINIMUM OF 85-90% VEGETATED VIGOROUS GROWTH. RE-SEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.

BUILDING PAD PREPARATION NOTES:

- UNLESS SPECIFICALLY INDICATED OTHERWISE IN THE DRAWINGS AND/OR SPECIFICATIONS, THE LIMITS OF THIS SUBSURFACE ARE CONSIDERED TO BE THAT PORTION OF THE SITE DIRECTLY BENEATH AND 10 FEET BEYOND THE BUILDING AND APPURTENANCES.
- APPURTENANCES ARE THOSE ITEMS ATTACHED TO THE BUILDING PROPER TYPICALLY INCLUDING, BUT NOT LIMITED TO, THE BUILDING SIDEWALKS, PORCHES, RAMPS, STAIRS, TRUCK WELLS / DOCKS, COMPACTOR PAD, ETC. THE REQUIRED FILL MATERIALS AND THICKNESS VARY BENEATH THE BUILDING AND APPURTENANCES.
- ESTABLISH THE FINAL SUBGRADE ELEVATION AT PER GEOTECHNICAL RECOMMENDATIONS. THE UNDERSLAB FILL AND THE FLOOR SLAB WILL BE INSTALLED BY OTHERS UNDER SEPARATE CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ACCURATE MEASUREMENTS FOR ALL CUT AND FILL DEPTHS REQUIRED.
- EXISTING FOUNDATIONS, SLABS, PAVEMENTS AND BELOW GRADE STRUCTURES SHALL BE REMOVED FROM THE BUILDING AREA. REMOVE SURFACE VEGETATION, TOPSOIL, ROOT SYSTEMS, ORGANIC MATERIAL, EXISTING FILL, AND SOFT OR OTHERWISE UNSUITABLE MATERIAL FROM THE BUILDING AREA. PROOFROLL EXPOSED SOIL SUBGRADE WITH TWO TO FOUR PASSES OF A SELF-PROPELLED STATO ROLLER HAVING A DRUM WEIGHT OF AT LEAST 10,000 POUNDS. LOOSE OR YIELDING AREAS SHOULD BE OVER EXCAVATED TO FIRM AND STABLE GROUND AND REPLACED BY COMPACTED CRUSHED STONE (WRAPPED IN FILTER FABRIC) OR SAND-GRAVEL FILL.
- FILL BENEATH THE BUILDING, APPURTENANCES AND PROPOSED PAVED AREAS SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557).
- FILL WITHIN 5 FEET OF THE FINISHED FLOOR ELEVATION AND THE SLAB BASE COURSE SHALL CONSIST OF SAND-GRAVEL FILL, AS DESCRIBED BELOW AND IN SECTION 02200 OF THE SPECIFICATIONS.

SAND-GRAVEL FILL

- SHALL CONSIST OF DURABLE SAND AND GRAVEL AND SHALL BE FREE FROM ICE AND SNOW, ROOTS, SOD, RUBBISH AND OTHER DELETERIOUS OR ORGANIC MATTER. SAND-GRAVEL SHALL CONFORM TO THE FOLLOWING GRADATION REQUIREMENTS:

3 INCH	100
1/2 INCH	50 - 85
No. 4	40 - 75
No. 50	8 - 28
No. 200	0 - 10

- FILL MATERIAL GREATER THAN 5 FEET BELOW FINISHED FLOOR ELEVATION MAY CONSIST OF SUITABLE ON-SITE BORROW MATERIAL MEETING THE REQUIREMENTS OF ORDINARY FILL, GRANULAR FILL, OR SAND-GRAVEL FILL (SECTION 02200 OF THE SPECIFICATIONS).

CONSTRUCTION SEQUENCE:

IN ORDER TO LIMIT THE EXTENT OF OPEN AREAS SUSCEPTIBLE TO EROSION, THE PROPOSED PROJECT WILL SEQUENCE THE CONSTRUCTION AS FOLLOWS:

- CLEAR AND GRUB AS NECESSARY TO CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AND THE FABRIC SILT FENCE AS INDICATED ON THE SITE PLAN.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE, AND STRAWBALE/SILT FENCE AS SPECIFIED IN THE CONSTRUCTION DETAILS.
- CONSTRUCT TEMPORARY DRAINAGE, SEDIMENT AND EROSION CONTROL FACILITIES (UPSLOPE DIVERSION SWALES, STONE CHECK DAMS, SEDIMENTATION BASINS, ETC.) AS NECESSARY.
- CONTINUE TO CLEAR AND GRUB TO THE LIMITS OF CUTS AND FILLS.
- BEGIN BUILDING FOUNDATION CONSTRUCTION AS SPECIFIED IN CONSTRUCTION DETAILS.
- CONSTRUCT DRAINAGE FACILITIES AS REQUIRED.
- TEMPORARILY SEED AND MULCH ALL CUT AND FILL SLOPES IMMEDIATELY AFTER THEIR CONSTRUCTION. ALSO TEMPORARILY SEED AND MULCH ALL AREAS WHICH WOULD BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS WITHIN 7 DAYS OF LAST CONSTRUCTION ACTIVITY IN THAT AREA.
- INSTALL STORMWATER DRAINAGE AS REQUIRED.
- INSTALL ALL OTHER UTILITIES AS REQUIRED.
- PLACE BANK RUN GRADUATION COURSE IN AREAS TO BE PAVED.
- LOAM, PERMANENTLY SEED, MULCH, AND FERTILIZE (IF NEEDED) ALL AREAS COMPLETED THAT WOULD NOT BE DISTURBED.
- PLACE CRUSHED GRAVEL AND CONSTRUCT PADS FOR EXTERIOR CONCRETE FLATWORK AND PAVEMENT AREAS.
- FINISH GRADE, CONSTRUCT, AND PLACE ALL AREAS OF CONCRETE AND BASE COURSE PAVEMENT.
- COMPLETE LOAMING, PERMANENT SEEDING, AND MULCHING. RESEED AND MULCH ANY AREAS THAT HAVE NOT BEEN ESTABLISHED FROM PRIOR SEEDING.
- COMPLETE FINAL PAVING (WEARING COURSE).
- WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, THE CONTRACTOR SHALL CONTACT THE LOCAL CONSERVATION COMMISSION REPRESENTATIVE FOR APPROVAL TO REMOVE TEMPORARY EROSION CONTROL MEASURES. UPON REMOVAL OF EROSION CONTROL MEASURES THE CONTRACTOR SHALL RESEED/MULCH ANY AREAS DISTURBED BY THEIR REMOVAL.
- AS REQUIRED, A NPDES PERMIT, INCLUDING A COMPREHENSIVE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) WILL BE PREPARED AND FILED WITH THE EPA PRIOR TO CONSTRUCTION ACTIVITIES BEGIN. THE CONTRACTOR WILL HAVE THE DOCUMENTATION APPROPRIATELY DISPLAYED FOR PUBLIC VIEWING AT THE MAIN CONSTRUCTION ENTRANCE. THE CONTRACTOR IS ALSO REQUIRED TO HAVE A QUALIFIED AND DESIGNATED REPRESENTATIVE CONDUCT THE WEEKLY AND RAINFALL EVENT INSPECTIONS AND KEEP A MAINTENANCE LOG RECORDING ALL EVENTS RELATED TO ACTIVITIES AT THE SITE RELATED TO THE BMPs, ROUTINE MAINTENANCE, SPILL AND CLEANUP OCCURRENCES, ETC. THE CONTRACTOR WILL BE RESPONSIBLE FOR UPDATING THE SWPPP EACH TIME THERE ARE SIGNIFICANT MODIFICATIONS TO THE POLLUTANT PREVENTION SYSTEM. SITE CONDITIONS CHANGE AND BMPs ARE ADJUSTED, CONSTRUCTION ENTRANCES MOVED, ETC. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE COPIES OF THE NPDES PERMIT, UPDATED SWPPP, WEEKLY AND RAINFALL EVENT INSPECTION REPORTS TO THE CONSERVATION COMMISSION WITHIN 7 DAYS OF THE INSPECTIONS OR REVISIONS TO THE SWPPP.

CIVIL PLAN ABBREVIATIONS:

ABAN	ABANDON	L	LENGTH
ADJ	ADJUST	LB	LEACHING BASIN
B	BORING	LP	LIGHT POLE
BC	BOTTOM OF CURB	MAT	MATERIAL
BIT	BITUMINOUS	MAX	MAXIMUM
BCB	BITUMINOUS CONCRETE BERM	MH	MANHOLE
BLDG	BUILDING	MIN	MINIMUM
BM	BENCHMARK	MISC	MISCELLANEOUS
BOS	BOTTOM OF SLOPE	MTD	MOUNTED
BOW	BOTTOM OF WALL	MW	MONITORING WELL
BRK	BRICK	N	NORTH
BV&B	BUTTERFLY VALVE & BOX	NIC	NOT IN CONTRACT
BWV	BORDERING VEGETATED WETLAND	NO	NUMBER
		NTS	NOT TO SCALE
CATV	CABLE TELEVISION	OC	ON CENTER
CB	CATCH BASIN	OD	OUTSIDE DIAMETER
CF	CUBIC FEET	OH	OVERHEAD WIRE
CFS	CUBIC FEET PER SECOND	OHVD	OVERHEAD
CI	CAST IRON (PIPE)	OW	OBSERVATION WELL
CL	CENTERLINE		
CLDI	CEMENT LINED DUCTILE IRON (PIPE)	PC	POINT OF CURVATURE
CM	CONSTRUCTION MANAGER	PCC	POINT OF COMPOUND CURVATURE
CMP	CORRUGATED METAL PIPE	PI	POINT OF INTERSECTION
CO	CLEAN OUT	PKG	PROPERTY LINE
CONC	CONCRETE	PLMB	PLUMBING
CONST	CONSTRUCTION	POC	POINT ON CURVATURE
CONT	CONTRACTOR	POT	POINT ON TANGENT
CRD	COORDINATE	PRC	POINT OF REVERSE CURVATURE
CP	CORRUGATED POLYETHYLENE PIPE	PROP.	PROPOSED
CUL	CULVERT	PT	POINT (OR POINT OF TANGENT)
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE (PIPE)
DB	DISTRIBUTION BOX		
DBL	DOUBLE	R&R	REMOVE & RESET/REPLACE
DEM	DEMOLISH	R&S	REMOVE & REPLACE
DET	DETENTION	RCP	REINFORCED CONCRETE PIPE
DI	DUCTILE IRON (PIPE)	RD	ROAD (OR ROOF DRAIN)
DIA	DIAMETER	RED	REDUCER
DIM	DIMENSION	RELOC	RELOCATE
DMH	DRAIN MANHOLE	REM	REMOVE
DW	DOMESTIC WATER (OR DRY WELL)	RET	RETAIN, RETAINING OR RETENTION
DWG	DRAWING	RHW	RIGHT OF WAY
DYCL	DOUBLE YELLOW CENTERLINE	RR	RAILROAD
		RWL	RAIN WATER LEADER
		RWY	ROADWAY
EHH	ELECTRIC HANDHOLE	SD	SUBDRAIN
EL	ELEVATION	SF	SQUARE FEET
ELEC	ELECTRIC	SGC	SLOPED GRANITE CURB
EMH	ELECTRIC MANHOLE	SMH	SEWER MANHOLE
EOP	EDGE OF PAVEMENT	SP	STANDPIPE
EOR	EDGE OF ROAD	SPEC	SPECIFICATION
EOW	EDGE OF WETLANDS	STA	STATION
ETC	ELECTRIC, TELEPHONE, CABLE	STC	STORMCEPTOR
EXIST	EXISTING	STD	STANDARD
EXT	EXTERIOR	STRTL	STRUCTURAL
		SWEL	SOLID WHITE EDGE LINE
		SW	SIDEWALK
FA	FIRE ALARM	SWLL	SOLID WHITE LANE LINE
FCC	FLUSH CONCRETE CURB	SYCL	SOLID YELLOW CENTERLINE
FES	FLARED END SECTION		
FFE	FINISH FLOOR ELEVATION		
FLNP	FIRE LANE NO PARKING	TB	TEST BORING
FPS	FEET PER SECOND	TD	TRENCH DRAIN
FS	FIRE SERVICE	TEL	TELEPHONE
FT	FOOT/FEET	TEL T	TELEPHONE TRENCH MANHOLE
		TOS	TOP OF SLOPE
GC	GENERAL CONTRACTOR	TOW	TOP OF WALL
GEN	GENERAL	TP	TEST PIT
GG	GAS GATE	TS&V	TAPPING SLEEVE & VALVE
GR	GRANULAR FILL	TP	TYPICAL
GRAN	GRANITE		
GV	GATE VALVE	UD	UNDERDRAIN
GV&B	GATE VALVE & BOX	UL	UNDERWRITERS LABORATORY
GW	GROUND WATER	UP	UTILITY POLE
		VCP	VITRIFIED CLAY PIPE
HOR	HORIZONTAL	VERT	VERTICAL
HT	HEIGHT	VGC	VERTICAL GRANITE CURB
HW	HEADWALL	VIF	VERIFY IN FIELD
HWMY	HIGHWAY	WD	WOOD
HYD	HYDRANT	WG	WATER GATE
		WM	WATER MAIN
ID	INSIDE DIAMETER	WMH	WATER MANHOLE
IN	INCHES	WSO	WATER SHUTOFF
INCL	INCLUDE		
INST	INSTALLED		
INV, I.E.	INVERT, INVERT ELEVATION		

THE RESIDENCES ON THE CHARLES

15 RIVERDALE AVENUE
NEWTON, MA

CPC LAND ACQUISITION
COMPANY, LLC

ARCHITECT



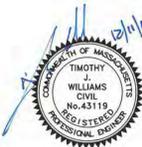
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1	12-11-2019	COMP. PERMIT
MARK	DATE	DESCRIPTION

PROJECT NUMBER: 1374-23

DRAWN BY: AM/ND

CHECKED BY: TJW

SHEET TITLE

ABBREVIATIONS & NOTES

C-001

THE RESIDENCES ON THE CHARLES

15 RIVERDALE AVENUE
NEWTON, MA

CPC LAND ACQUISITION
COMPANY, LLC

ARCHITECT

E-ICON ARCHITECTURE

101 SUMMER ST BOSTON MA 02110

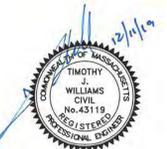
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KEY PLAN

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PROJECT NUMBER: 1374-23

DRAWN BY: AM/ND

CHECKED BY: TJW

SHEET TITLE

SITE PREPARATION
PLAN

C-101

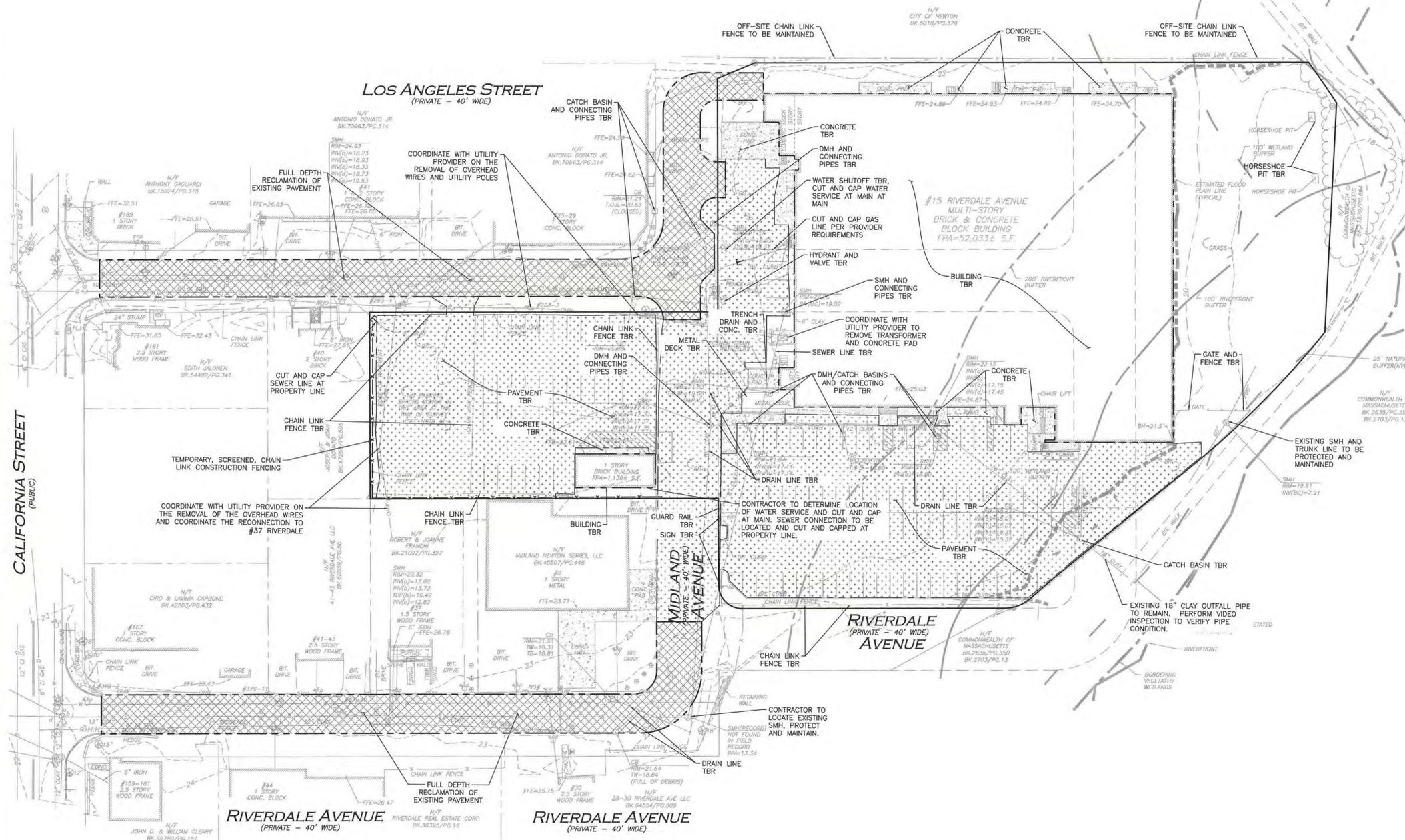


LEGEND

BUILDING TBR	
PAVEMENT TBR	
PAVEMENT TO BE RECLAIMED	
UTILITY CUT AND CAP	
TEMPORARY FENCE	
SAW-CUT LINE	

NOTES:

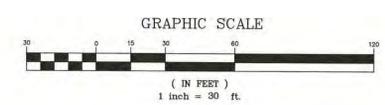
1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
4. EXISTING WATER AND SEWER CONNECTIONS SHALL BE CUT AND CAPPED IN ACCORDANCE WITH THE CITY OF NEWTON REQUIREMENTS.
5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



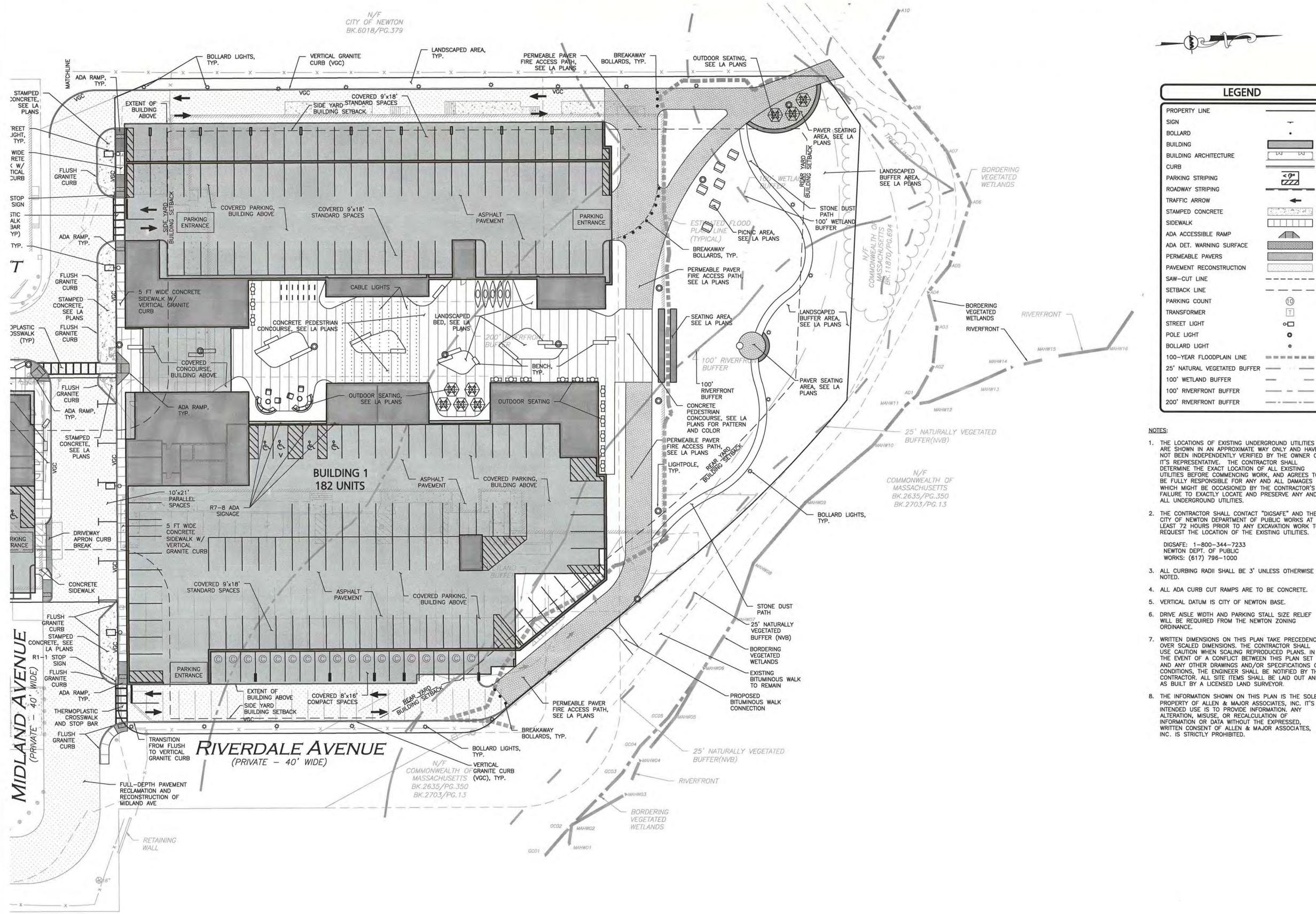
DIG SAFE



BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233



N/F
CITY OF NEWTON
BK.6018/PG.379



LEGEND	
PROPERTY LINE	---
SIGN	—
BOLLARD	•
BUILDING	[Hatched Area]
BUILDING ARCHITECTURE	[Line Style]
CURB	[Line Style]
PARKING STRIPING	[Line Style]
ROADWAY STRIPING	[Line Style]
TRAFFIC ARROW	→
STAMPED CONCRETE	[Line Style]
SIDEWALK	[Line Style]
ADA ACCESSIBLE RAMP	[Line Style]
ADA DET. WARNING SURFACE	[Line Style]
PERMEABLE PAVERS	[Line Style]
PAVEMENT RECONSTRUCTION	[Line Style]
SAW-CUT LINE	[Line Style]
SETBACK LINE	[Line Style]
PARKING COUNT	Ⓞ
TRANSFORMER	Ⓧ
STREET LIGHT	⊙
POLE LIGHT	⊙
BOLLARD LIGHT	⊙
100-YEAR FLOODPLAIN LINE	---
25' NATURAL VEGETATED BUFFER	---
100' WETLAND BUFFER	---
100' RIVERFRONT BUFFER	---
200' RIVERFRONT BUFFER	---

- NOTES:
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE CITY OF NEWTON DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
DIGSAFE: 1-800-344-7233
NEWTON DEPT. OF PUBLIC WORKS: (617) 796-1000
 - ALL CURBING RADII SHALL BE 3' UNLESS OTHERWISE NOTED.
 - ALL ADA CURB CUT RAMP ARE TO BE CONCRETE.
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15 RIVERDALE AVENUE
NEWTON, MA

CPC LAND ACQUISITION
COMPANY, LLC

ARCHITECT

E-ICON
ARCHITECTURE

101 SUMMER ST BOSTON MA 02110

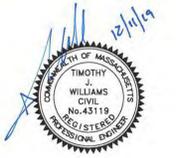
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ALLEN & MAJOR
ASSOCIATES, INC.
INCORPORATED IN MASSACHUSETTS
177 WASHINGTON ST., SUITE 1000
BOSTON, MA 02109
TEL: (617) 552-1100
FAX: (617) 552-1101
WWW.AM-ASSOCIATES.COM

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KEY PLAN

MARK	DATE	DESCRIPTION
1	12-11-2019	COMP. PERMIT

PROJECT NUMBER: 1374-23
DRAWN BY: AM/ND
CHECKED BY: TJW

SHEET TITLE

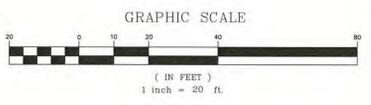
MATERIALS PLAN
BUILDING 1

C-103A

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2400257833.PLT 23-11-2019 10:00 AM (10/24/19) 1374-23 CIVIL (10/24/19) (10/24/19)

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NEWTON, MA

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COMPANY, LLC

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ARCHITECTURE
101 SUMMER ST BOSTON MA 02110

CONSULTANT



ALLEN & MAJOR
ASSOCIATES, INC.
REGISTERED PROFESSIONAL ENGINEER
STATE OF MASSACHUSETTS
No. 45119
REGISTERED
PROFESSIONAL ENGINEER
No. 796-1000

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SHEET TITLE

MATERIALS PLAN
BUILDING 2

C-103B

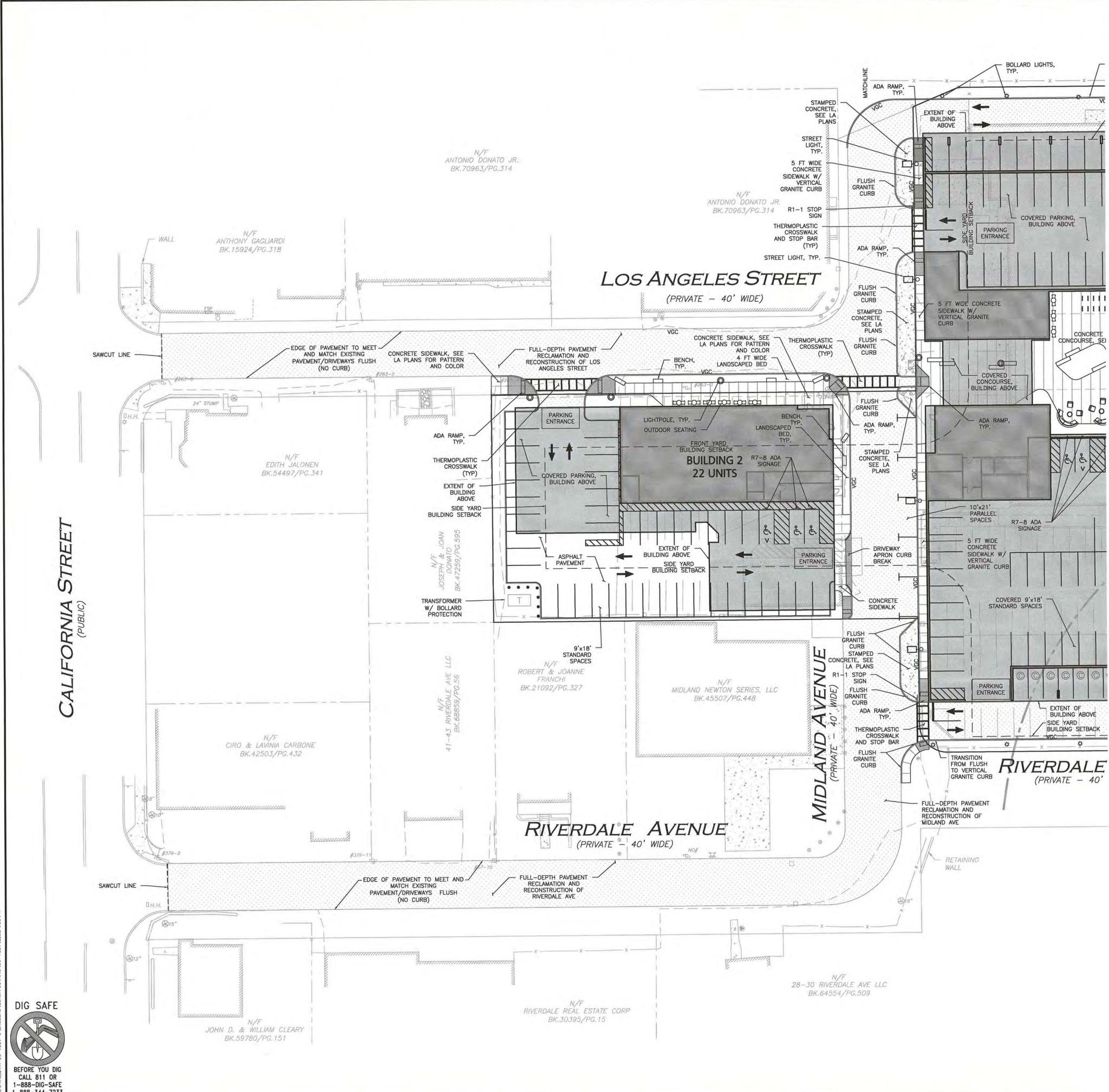
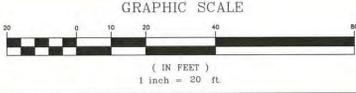


LEGEND

PROPERTY LINE	SYMBOL
SIGN	—
BOLLARD	—
BUILDING	—
BUILDING ARCHITECTURE	—
CURB	—
PARKING STRIPING	—
ROADWAY STRIPING	—
TRAFFIC ARROW	—
STAMPED CONCRETE	—
SIDEWALK	—
ADA ACCESSIBLE RAMP	—
ADA DET. WARNING SURFACE	—
PERMEABLE PAVERS	—
PAVEMENT RECONSTRUCTION	—
SAW-CUT LINE	—
SETBACK LINE	—
PARKING COUNT	—
TRANSFORMER	—
STREET LIGHT	—
POLE LIGHT	—
BOLLARD LIGHT	—
100-YEAR FLOODPLAIN LINE	—
25' NATURAL VEGETATED BUFFER	—
100' WETLAND BUFFER	—
100' RIVERFRONT BUFFER	—
200' RIVERFRONT BUFFER	—

NOTES:

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ARCHITECT

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CONSULTANT



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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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PROJECT NUMBER: 1374-23
DRAWN BY: AM/ND
CHECKED BY: TJW

SHEET TITLE

GRADING &
DRAINAGE PLAN

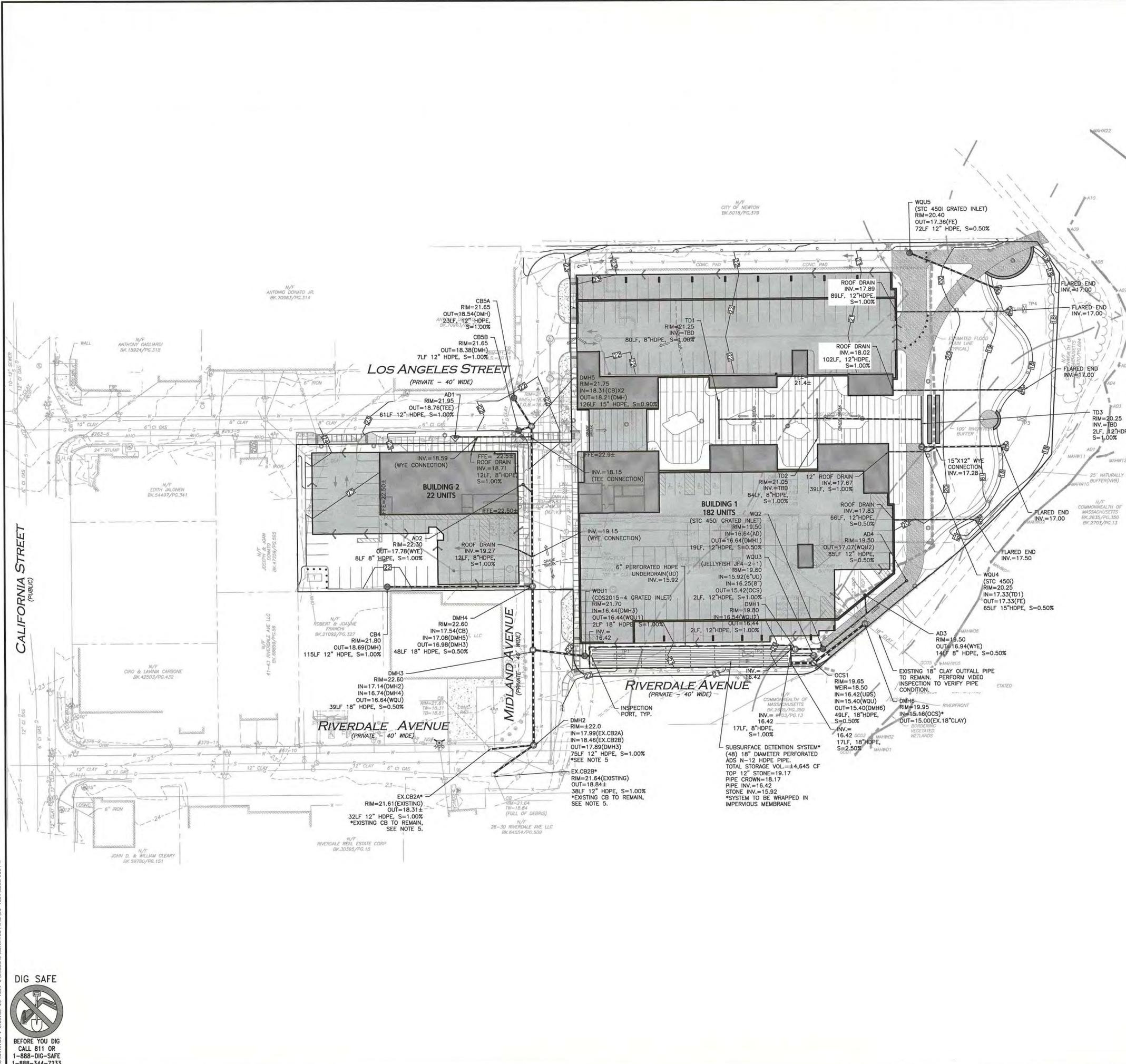
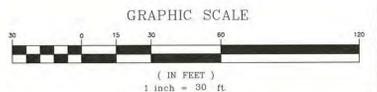
C-104



LEGEND	
DRAIN MANHOLE	⊙
CATCH BASIN	⊙
DIVERSION WEIR	⊙
WATER QUALITY UNIT	⊙
AREA DRAIN	•
DRAIN LINE	—
10' CONTOUR	—20—
2' CONTOUR	—18—
SPOT GRADE	—
BIO-RETENTION SYSTEM	—
DETENTION PIPE	—
UNDERDRAIN	—
FLOW DIRECTION	→
100-YEAR FLOODPLAIN LINE	—
25' NATURAL VEGETATED BUFFER	—
100' WETLAND BUFFER	—
100' RIVERFRONT BUFFER	—
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CONSULTANT



ALLEN & MAJOR
ASSOCIATES, INC.

117 STATE STREET
NEWTON, MA 02459
TEL: 781.552.1100
WWW.ALLENMAJOR.COM

REGISTERED PROFESSIONAL ENGINEER
NO. 43113
REGISTERED PROFESSIONAL DESIGNER

WORKING AS A LICENSED ARCHITECT & ENGINEER IN MA

STAMP



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

KEY PLAN

MARK	DATE	DESCRIPTION
1	12-11-2019	COMP. PERMIT

PROJECT NUMBER: 1374-23
DRAWN BY: AM/ND
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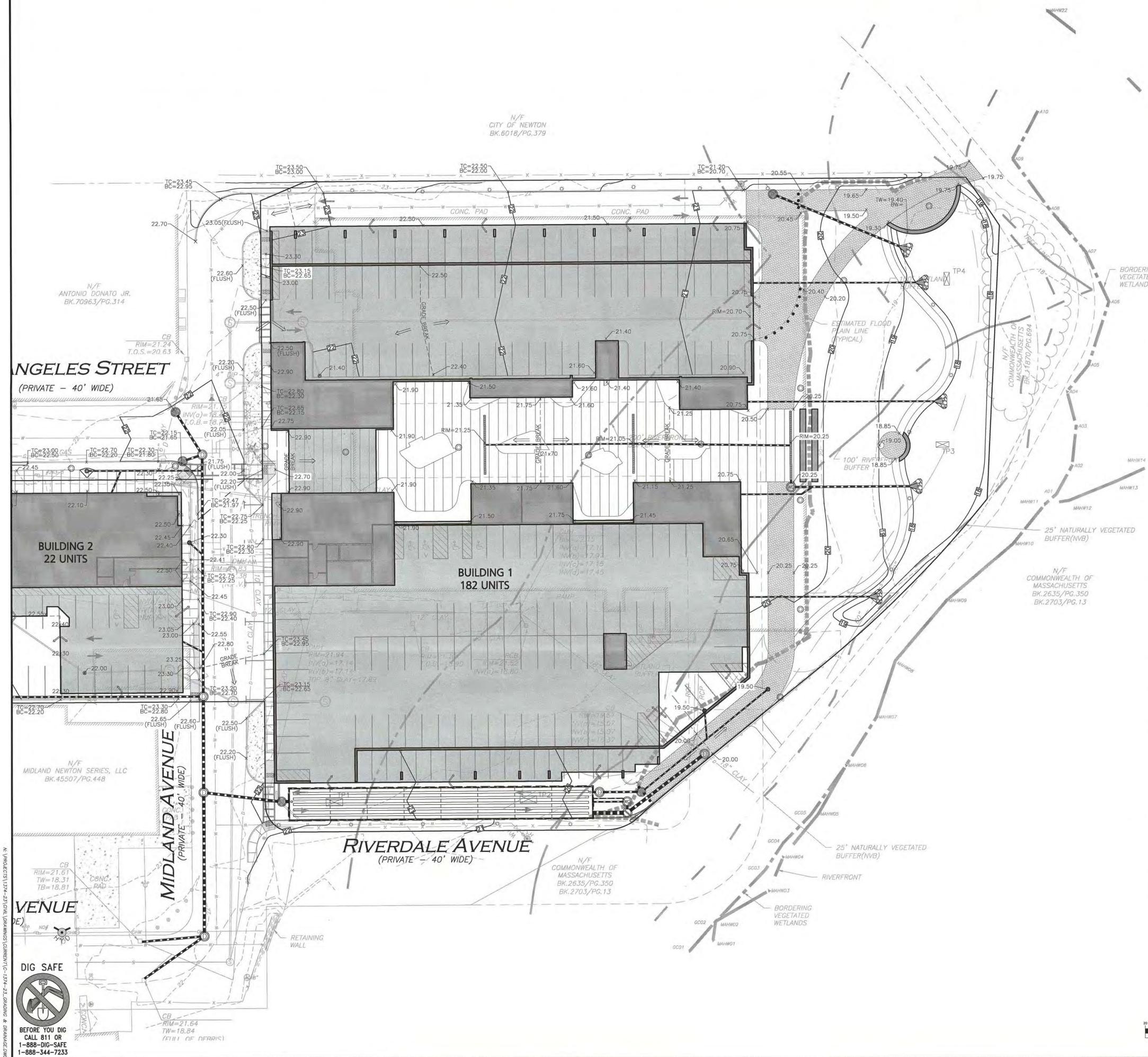
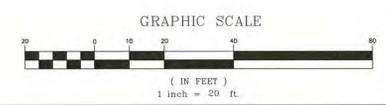
SPOT GRADE PLAN -
BUILDING 1

C-105A

LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- DIVERSION WEIR
- WATER QUALITY UNIT
- AREA DRAIN
- DRAIN LINE
- 10' CONTOUR
- 2' CONTOUR
- SPOT GRADE
- BIO-RETENTION SYSTEM
- DETENTION PIPE
- UNDERDRAIN
- FLOW DIRECTION
- 100-YEAR FLOODPLAIN LINE
- 25' NATURAL VEGETATED BUFFER
- 100' WETLAND BUFFER
- 100' RIVERFRONT BUFFER
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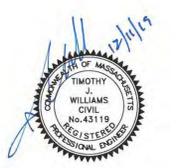
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REGISTERED PROFESSIONAL LANDSCAPE ARCHITECTS
REGISTERED PROFESSIONAL SURVEYORS
REGISTERED PROFESSIONAL CIVIL ENGINEERS
REGISTERED PROFESSIONAL ELECTRICAL ENGINEERS
REGISTERED PROFESSIONAL MECHANICAL ENGINEERS
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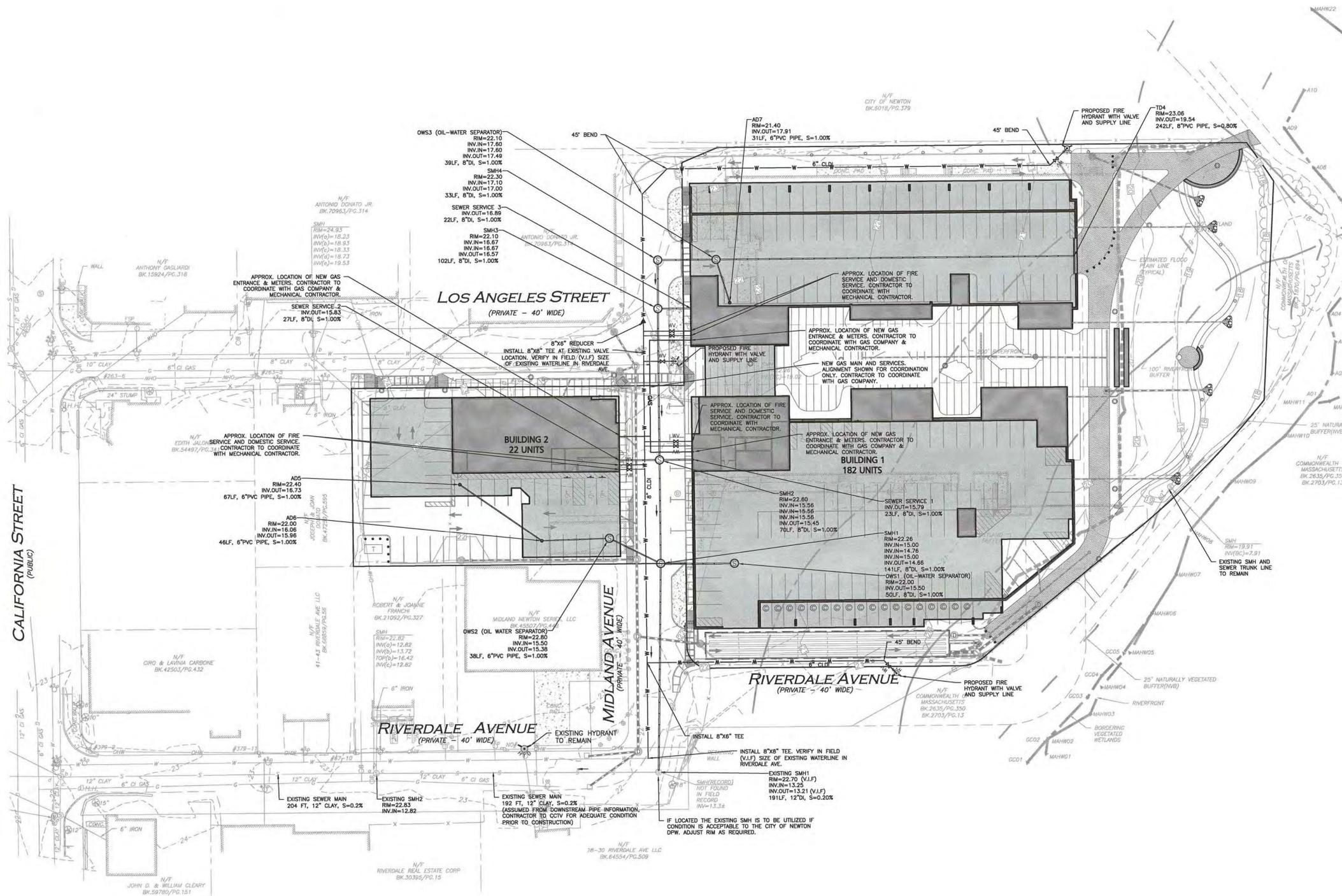
UTILITIES PLAN

C-106

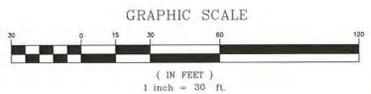
LEGEND

- SEWER MANHOLE (Symbol)
- SEWER CLEANOUT (Symbol)
- SEWER VENT (Symbol)
- SEWER LINE (Symbol)
- OIL WATER SEPARATOR (Symbol)
- CONCRETE PIPE ENCASEMENT (Symbol)
- WATER LINE (Symbol)
- WATER VALVE (Symbol)
- HYDRANT (Symbol)
- WATER LINE REDUCER (Symbol)
- GAS LINE (Symbol)
- GAS VALVE (Symbol)
- OVER HEAD WIRE (Symbol)
- UTILITY POLE (Symbol)
- 100-YEAR FLOODPLAIN LINE (Symbol)
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 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 - A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN AND SEWER LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN AND SEWER LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF EIGHT FEET CENTERED ON THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
 - THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



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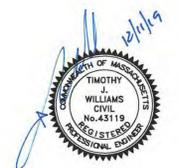
CONSULTANT



ALLEN & MAJOR
ASSOCIATES, INC.

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KEY PLAN

MARK	DATE	DESCRIPTION
1	12-11-2019	COMP. PERMIT

PROJECT NUMBER: 1374-23

DRAWN BY: AM/ND

CHECKED BY: TJW

SHEET TITLE

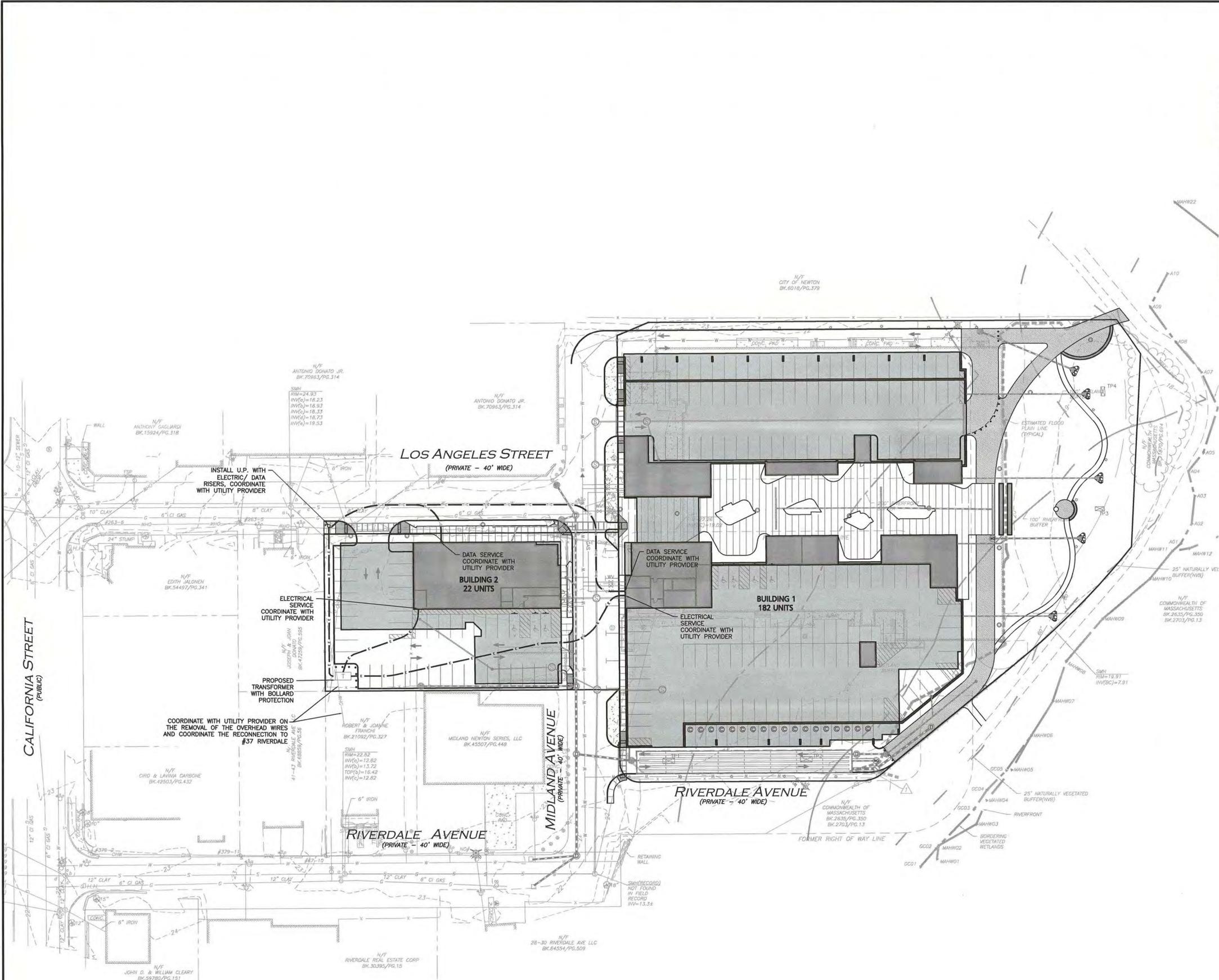
SITE
ELECTRICAL
PLAN

C-107

LEGEND

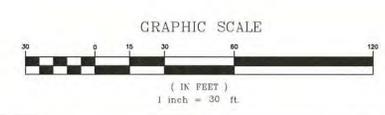
OVER HEAD WIRE	— OHW —
UTILITY POLE	⊕
ELECTRIC MANHOLE/SPLICE BOX	⊕
SWITCHING STATION	⊕
HAND HOLE	⊕
ELECTRICAL CONDUIT	— E —
LIGHTING CONDUIT	— L —
IRRIGATION SLEEVE	— I —
TELE/CABLE CONDUIT	— C —
100-YEAR FLOODPLAIN LINE	— F —
25' NATURAL VEGETATED BUFFER	— V —
100' WETLAND BUFFER	— W —
100' RIVERFRONT BUFFER	— R —
200' RIVERFRONT BUFFER	— B —

- ### NOTES:
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGENS TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE CITY OF NEWTON DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
DIGSAFE: 1-800-344-7233
NEWTON DEPT. OF PUBLIC WORKS: (617) 796-1000
 - VERTICAL DATUM IS CITY OF NEWTON BASE.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
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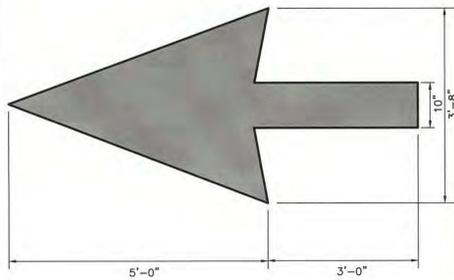


DESC.	SIGN	SIZE	MOUNTING HEIGHT	DESCRIPTION	REFLECTORIZED
R1-1		30" x 30"	7' - 0"	WHITE ON RED	YES
R7-8 (MODIFIED)		12" x 20"	7' - 0"	WHITE ON BLUE	YES

NOTE: TRAFFIC AND SAFETY SIGNAGE SHALL COMPLY WITH MUTCD STANDARDS.

SIGN TABLE
NOT TO SCALE

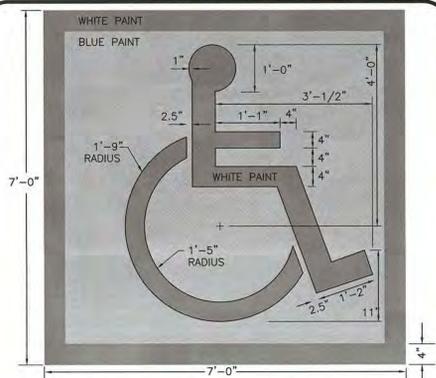
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NOTE:
1. TWO(2) COATS OF PAINT ARE REQUIRED FOR ALL STRIPING IN DRIVEWAYS AND PARKING LOTS.

WHITE PAINTED STRAIGHT ARROW DETAIL
NOT TO SCALE

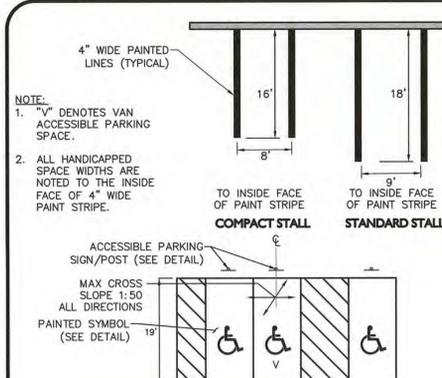
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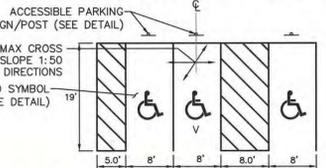
SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL. SYMBOL IS REQUIRED TO CONTRAST WITH BACKGROUND. USE WHITE ON BLUE (COLOR #105090 IN FEDERAL STANDARD 5952) DOUBLE COAT.

ACCESSIBLE PARKING STALL PAVEMENT MARKING
NOT TO SCALE

3

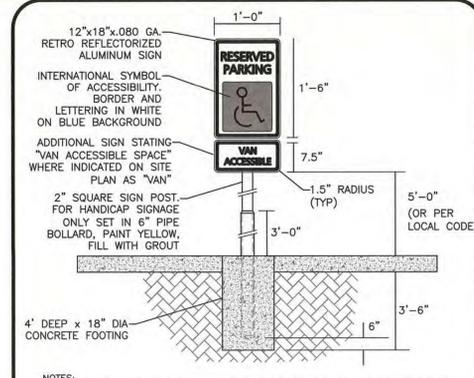


NOTE:
1. "V" DENOTES VAN ACCESSIBLE PARKING SPACE.
2. ALL HANDICAPPED SPACE WIDTHS ARE NOTED TO THE INSIDE FACE OF 4" WIDE PAINT STRIPE.



ADA STANDARD AND VAN ACCESSIBLE PARKING SPACE
NOT TO SCALE

4



NOTES:
1. SPECIFIC CODE SHALL BE REFERENCED FOR LOCAL AND STATE REQUIREMENTS.
2. PROVIDE (1) SIGN PER HANDICAP SPACE. SEE SITE PLAN FOR EXACT LOCATION.

ADA ACCESSIBLE PARKING / TRAFFIC CONTROL SIGNAGE
NOT TO SCALE

5

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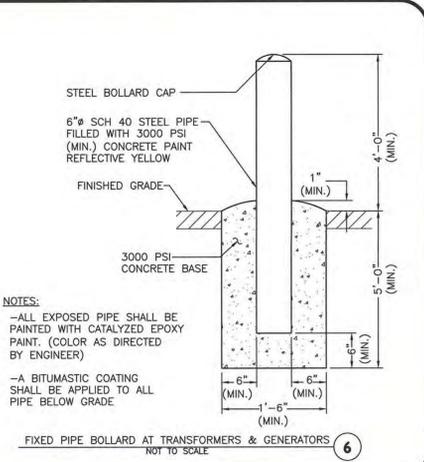
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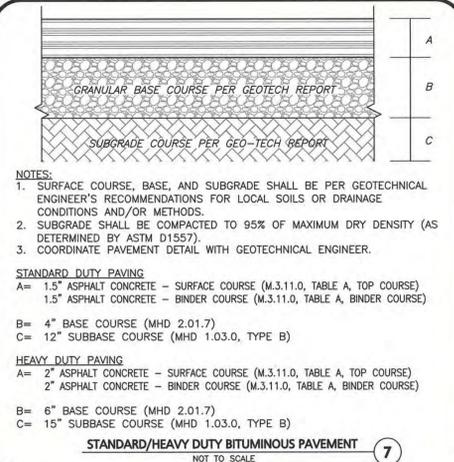
KEY PLAN



NOTES:
-ALL EXPOSED PIPE SHALL BE PAINTED WITH CATALYZED EPOXY PAINT. (COLOR AS DIRECTED BY ENGINEER)
-A BITUMASTIC COATING SHALL BE APPLIED TO ALL PIPE BELOW GRADE

FIXED PIPE BOLLARD AT TRANSFORMERS & GENERATORS
NOT TO SCALE

6



NOTES:
1. SURFACE COURSE, BASE, AND SUBGRADE SHALL BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS FOR LOCAL SOILS OR DRAINAGE CONDITIONS AND/OR METHODS.
2. SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY (AS DETERMINED BY ASTM D1557).
3. COORDINATE PAVEMENT DETAIL WITH GEOTECHNICAL ENGINEER.

STANDARD DUTY PAVING

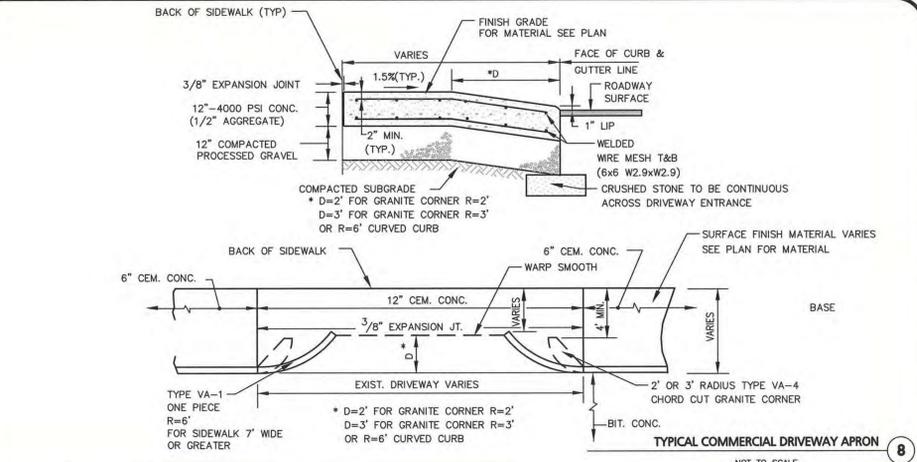
A= 1.5" ASPHALT CONCRETE - SURFACE COURSE (M.3.11.0, TABLE A, TOP COURSE)
1.5" ASPHALT CONCRETE - BINDER COURSE (M.3.11.0, TABLE A, BINDER COURSE)
B= 4" BASE COURSE (MHD 2.01.7)
C= 12" SUBBASE COURSE (MHD 1.03.0, TYPE B)

HEAVY DUTY PAVING

A= 2" ASPHALT CONCRETE - SURFACE COURSE (M.3.11.0, TABLE A, TOP COURSE)
2" ASPHALT CONCRETE - BINDER COURSE (M.3.11.0, TABLE A, BINDER COURSE)
B= 6" BASE COURSE (MHD 2.01.7)
C= 15" SUBBASE COURSE (MHD 1.03.0, TYPE B)

STANDARD/HEAVY DUTY BITUMINOUS PAVEMENT
NOT TO SCALE

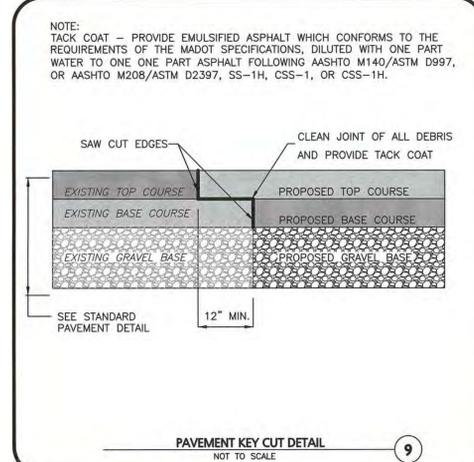
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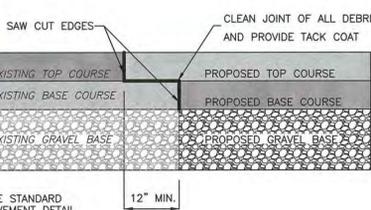
NOTES:
* D=2' FOR GRANITE CORNER R=2'
D=3' FOR GRANITE CORNER R=3'
OR R=6' CURVED CURB

TYPICAL COMMERCIAL DRIVEWAY APRON
NOT TO SCALE

8

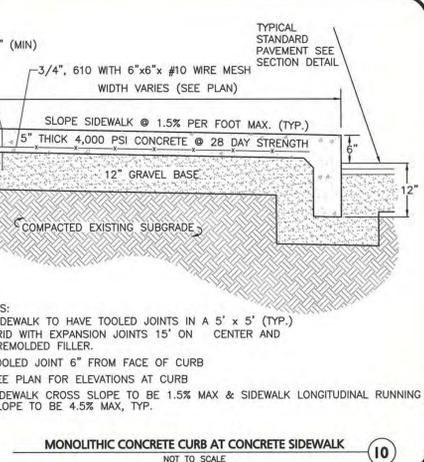


NOTE:
TACK COAT - PROVIDE EMULSIFIED ASPHALT WHICH CONFORMS TO THE REQUIREMENTS OF THE MADOT SPECIFICATIONS, DILUTED WITH ONE PART WATER TO ONE PART ASPHALT FOLLOWING AASHTO M140/ASTM D997, OR AASHTO M208/ASTM D2397, SS-1H, CSS-1, OR CSS-1H.



PAVEMENT KEY CUT DETAIL
NOT TO SCALE

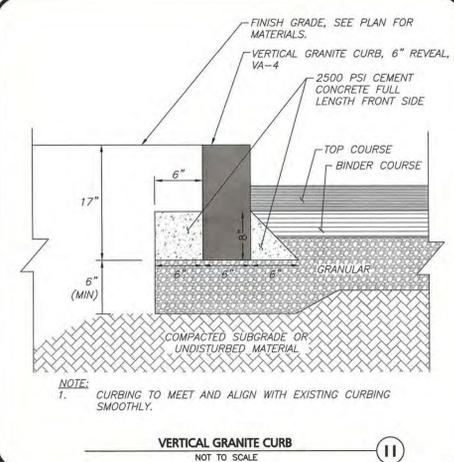
9



NOTES:
1. SIDEWALK TO HAVE TOOLED JOINTS IN A 5' x 5' (TYP.) GRID WITH EXPANSION JOINTS 15' ON CENTER AND PREMOLDED FILLER.
2. TOOLED JOINT 6" FROM FACE OF CURB
3. SEE PLAN FOR ELEVATIONS AT CURB
4. SIDEWALK CROSS SLOPE TO BE 1.5% MAX & SIDEWALK LONGITUDINAL RUNNING SLOPE TO BE 4.5% MAX, TYP.

MONOLITHIC CONCRETE CURB AT CONCRETE SIDEWALK
NOT TO SCALE

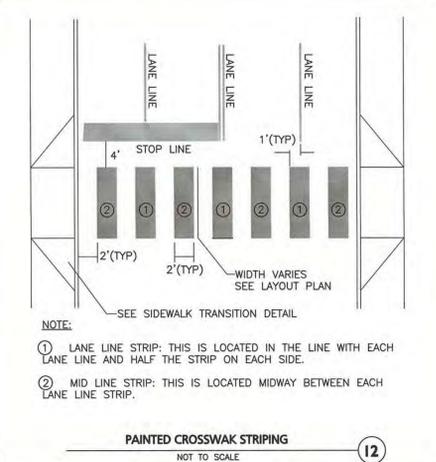
10



NOTE:
1. CURBING TO MEET AND ALIGN WITH EXISTING CURBING SMOOTHLY.

VERTICAL GRANITE CURB
NOT TO SCALE

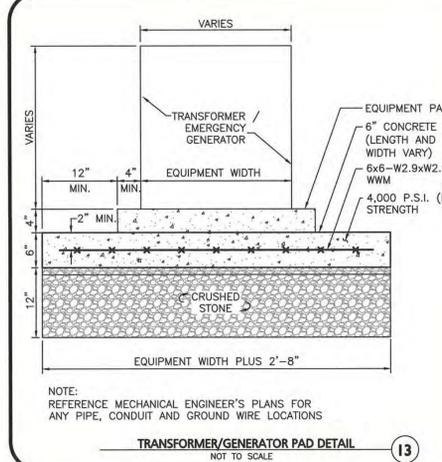
11



NOTE:
1. LANE LINE STRIP: THIS IS LOCATED IN THE LINE WITH EACH LANE LINE AND HALF THE STRIP ON EACH SIDE.
2. MID LINE STRIP: THIS IS LOCATED MIDWAY BETWEEN EACH LANE LINE STRIP.

PAINTED CROSSWALK STRIPING
NOT TO SCALE

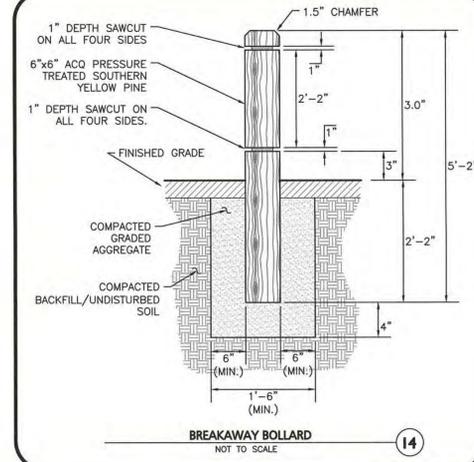
12



NOTE:
REFERENCE MECHANICAL ENGINEER'S PLANS FOR ANY PIPE, CONDUIT AND GROUND WIRE LOCATIONS

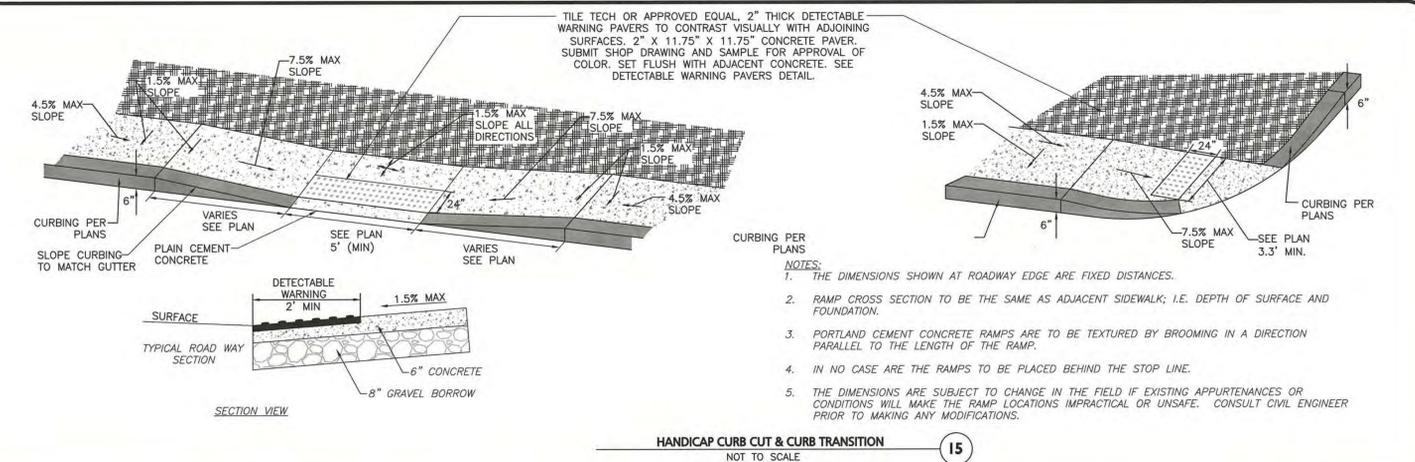
TRANSFORMER/GENERATOR PAD DETAIL
NOT TO SCALE

13



BREAKAWAY BOLLARD
NOT TO SCALE

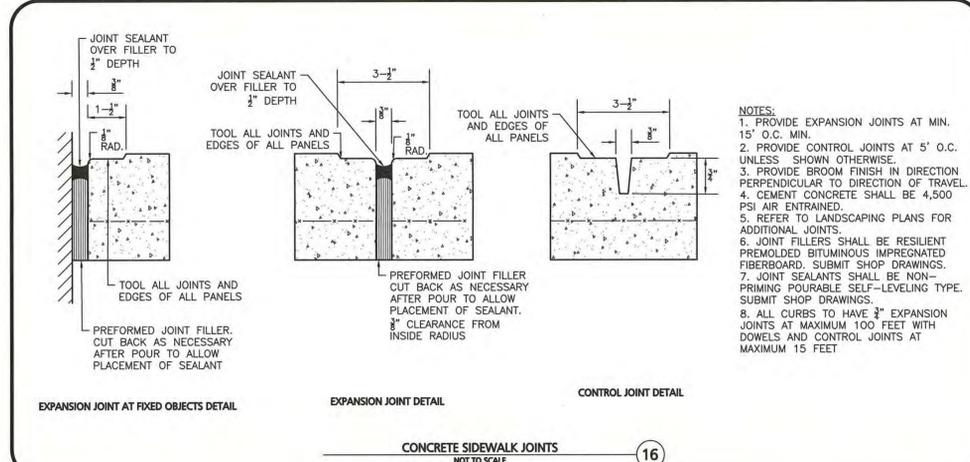
14



NOTES:
1. THE DIMENSIONS SHOWN AT ROADWAY EDGE ARE FIXED DISTANCES.
2. RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
3. PORTLAND CEMENT CONCRETE RAMPS ARE TO BE TEXTURED BY BROOMING IN A DIRECTION PARALLEL TO THE LENGTH OF THE RAMP.
4. IN NO CASE ARE THE RAMPS TO BE PLACED BEHIND THE STOP LINE.
5. THE DIMENSIONS ARE SUBJECT TO CHANGE IN THE FIELD IF EXISTING APPURTENANCES OR CONDITIONS WILL MAKE THE RAMP LOCATIONS IMPRACTICAL OR UNSAFE. CONSULT CIVIL ENGINEER PRIOR TO MAKING ANY MODIFICATIONS.

HANDICAP CURB CUT & CURB TRANSITION
NOT TO SCALE

15



EXPANSION JOINT AT FIXED OBJECTS DETAIL

EXPANSION JOINT DETAIL

CONTROL JOINT DETAIL

CONCRETE SIDEWALK JOINTS
NOT TO SCALE

16

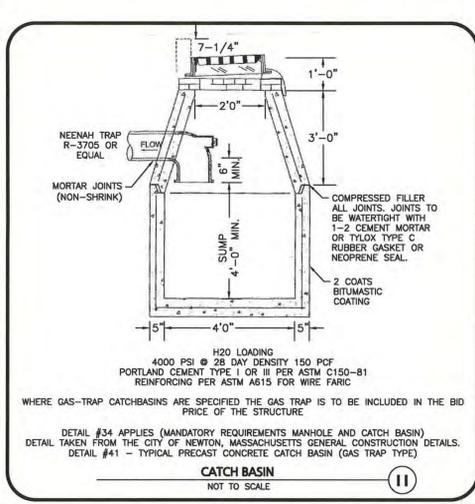
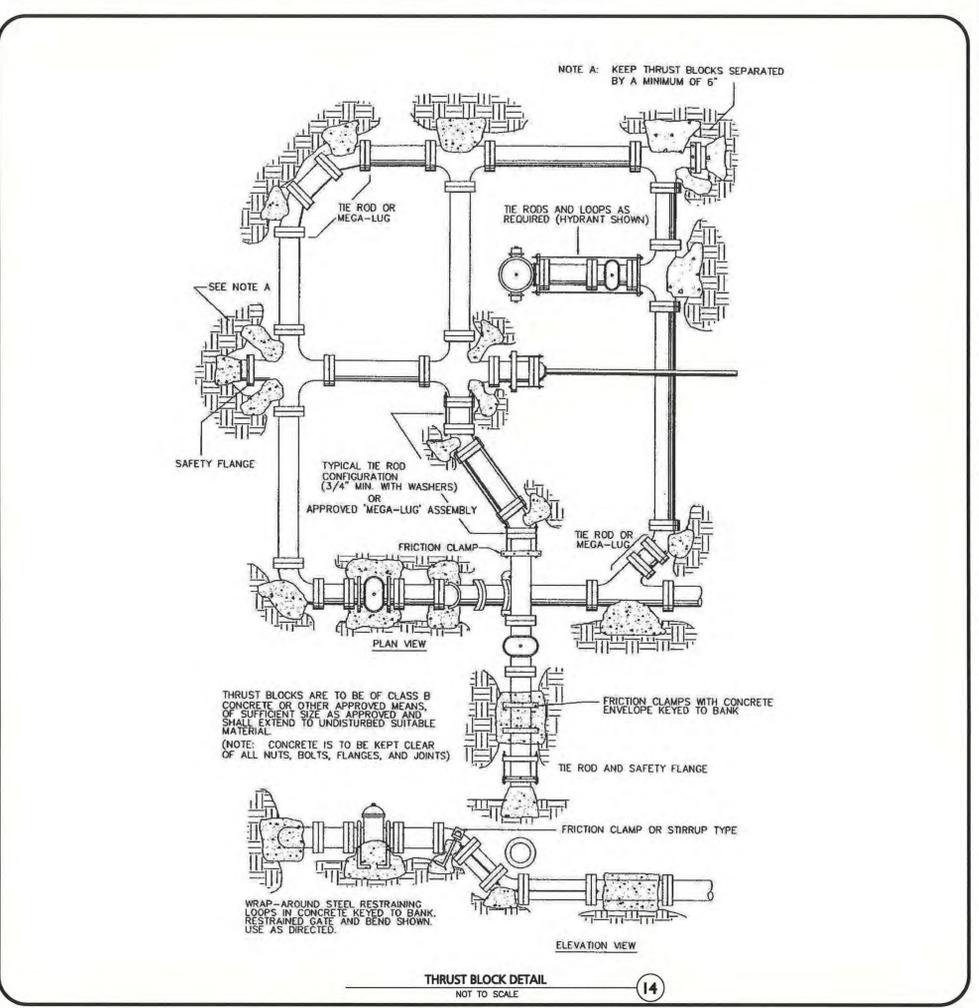
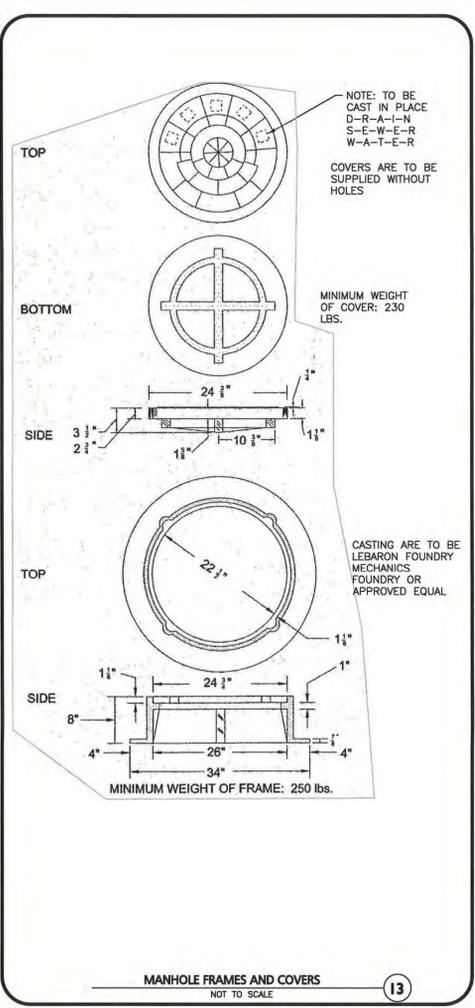
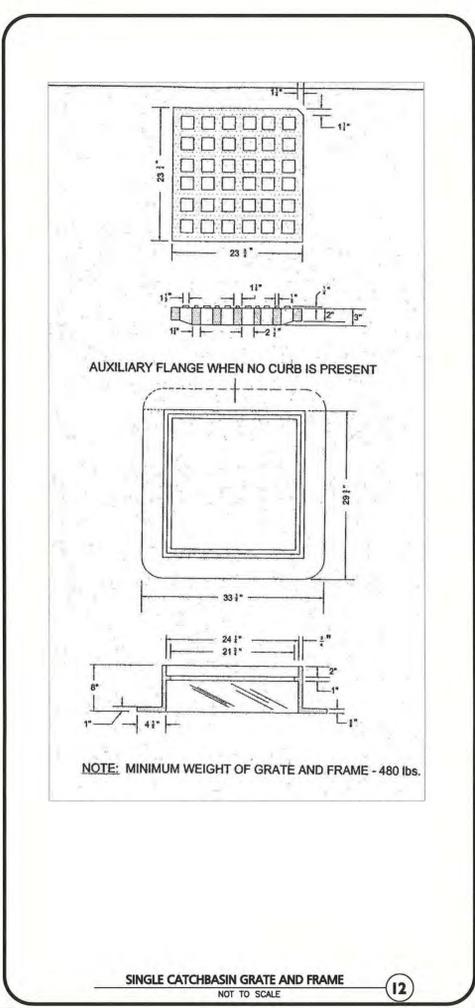
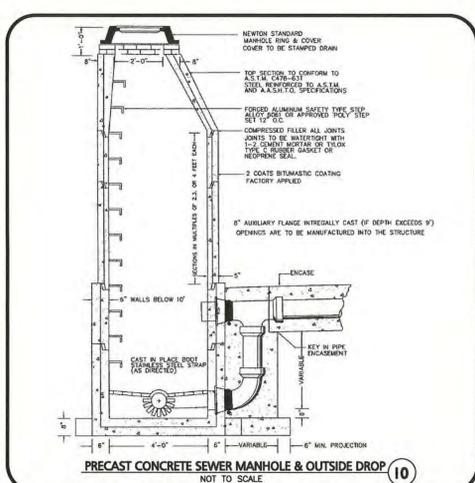
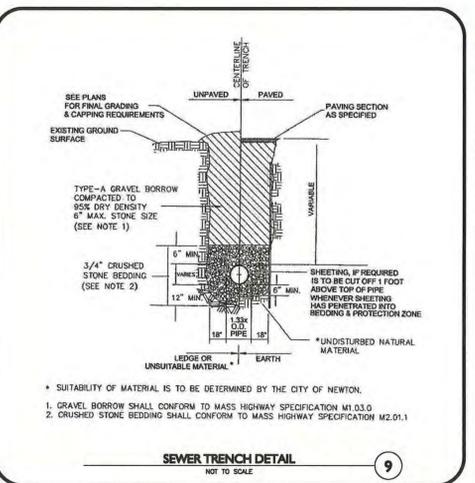
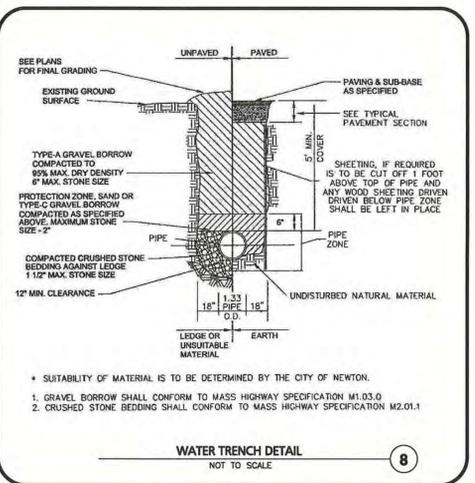
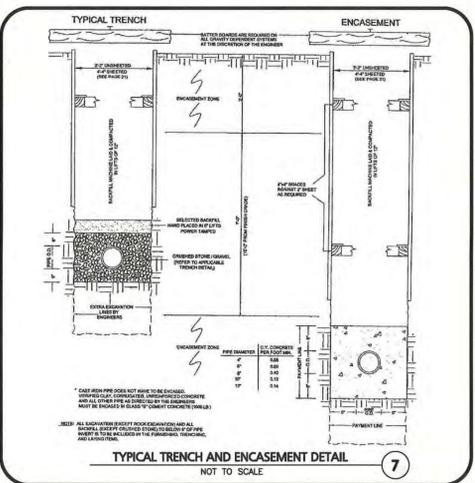
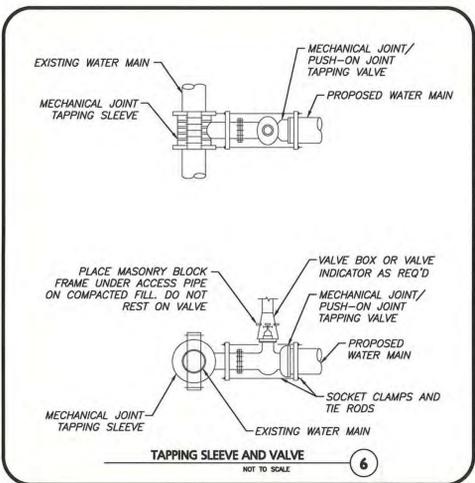
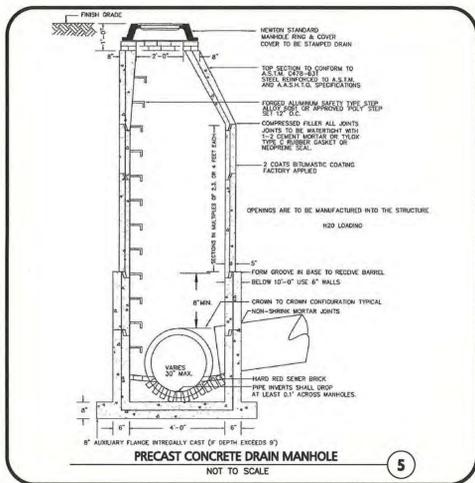
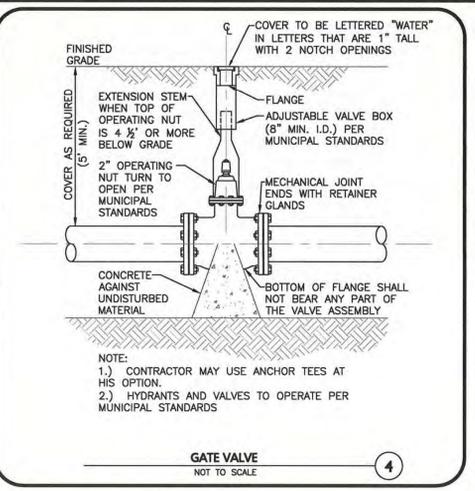
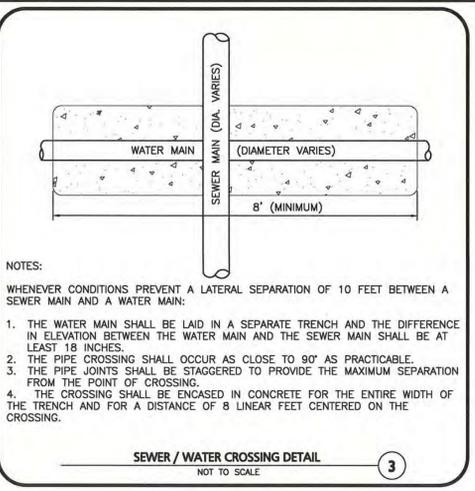
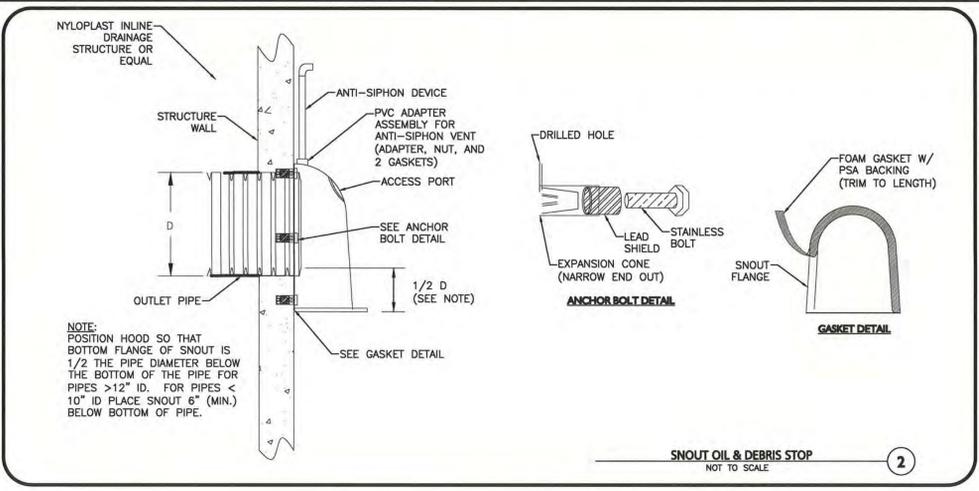
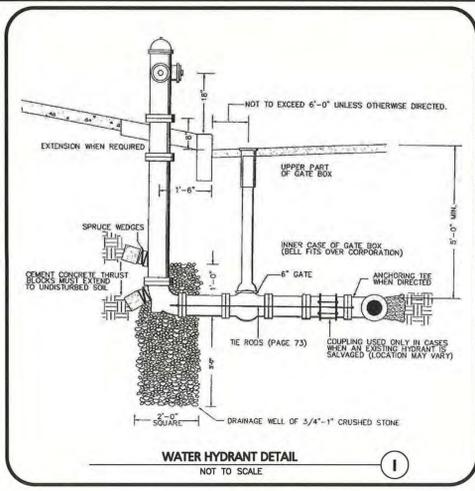
MARK	DATE	DESCRIPTION
1	12-11-2019	COMP. PERMIT

PROJECT NUMBER: 1374-23
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CHECKED BY: TJW

SHEET TITLE

DETAILS

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ARCHITECT

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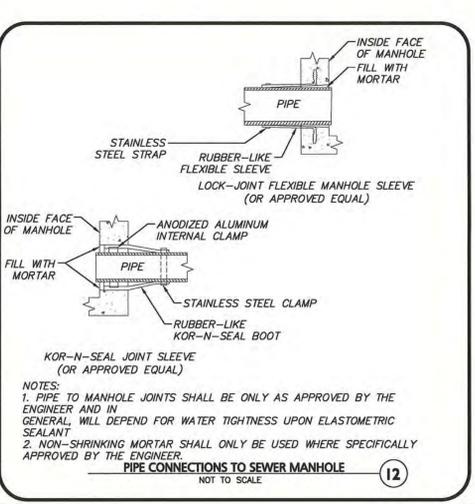
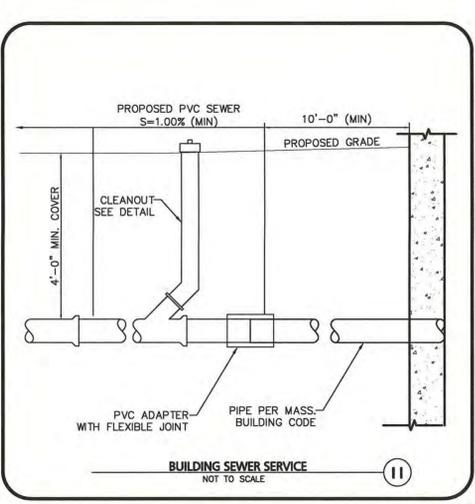
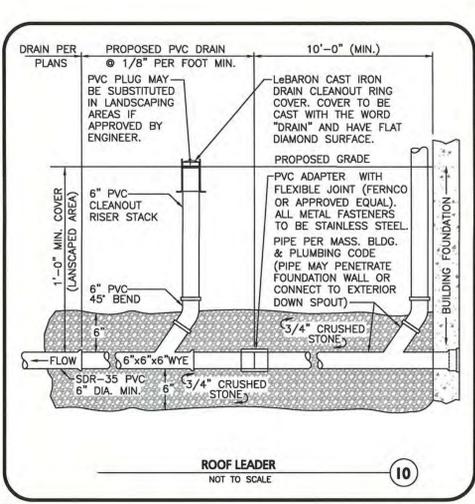
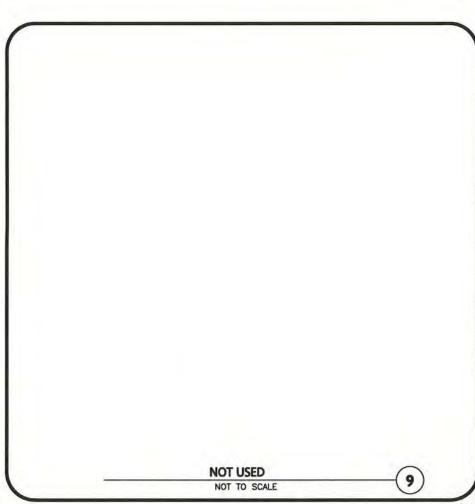
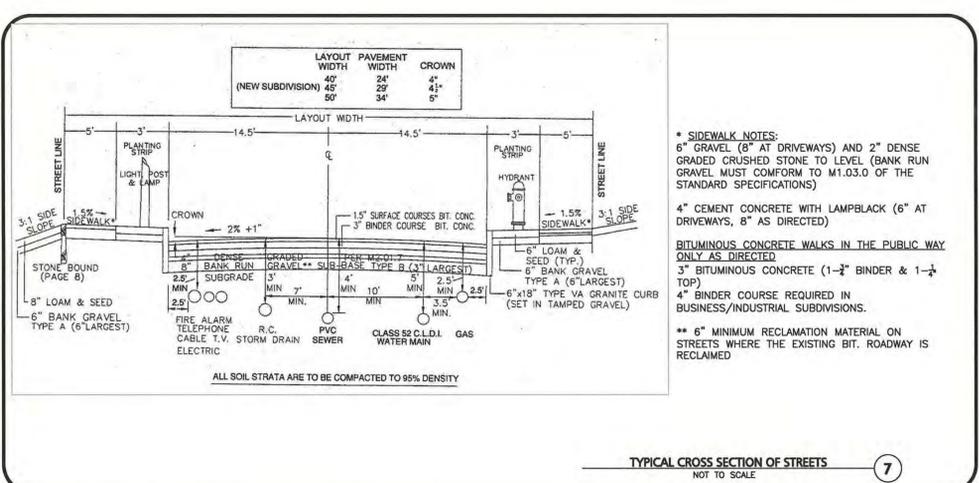
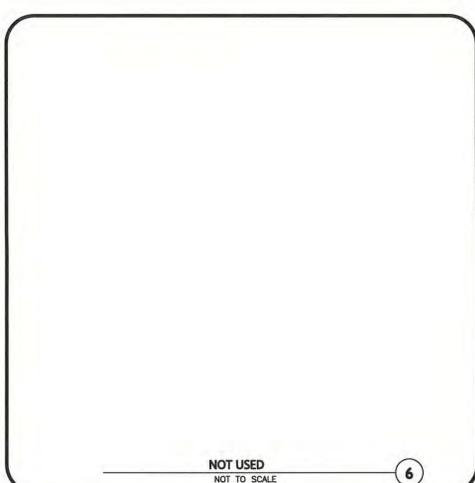
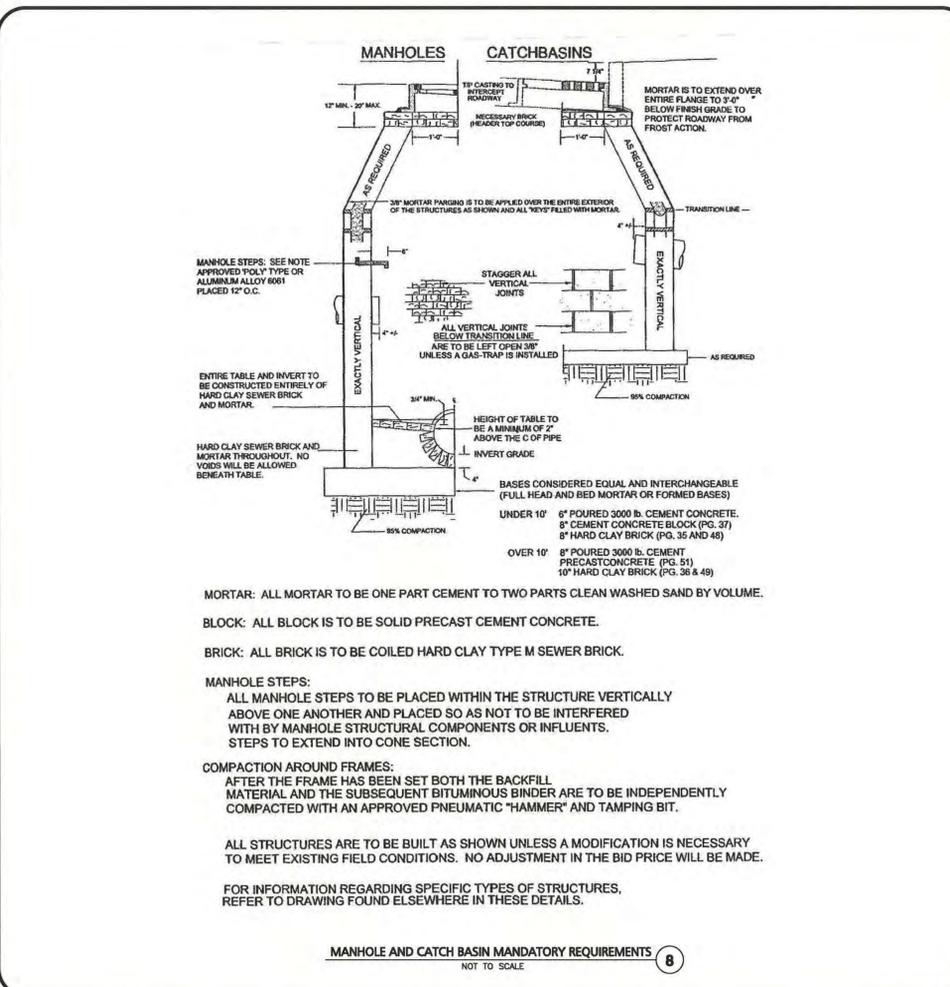
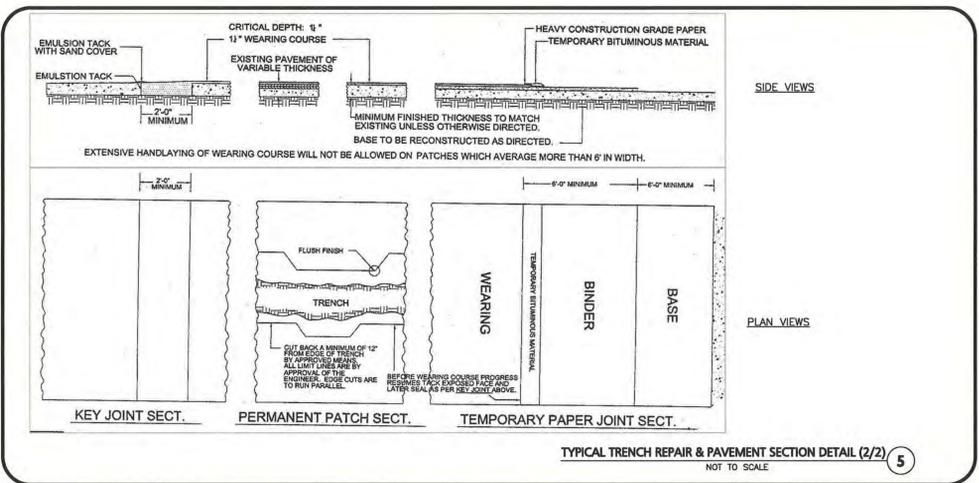
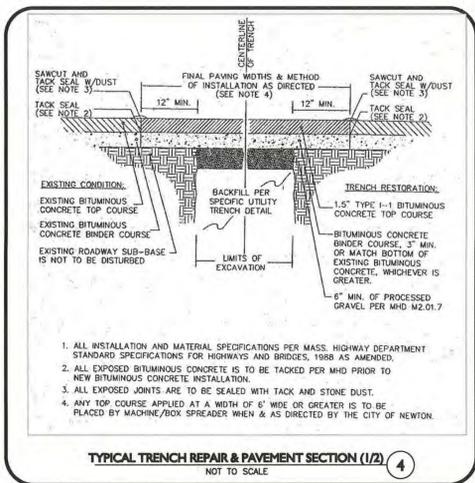
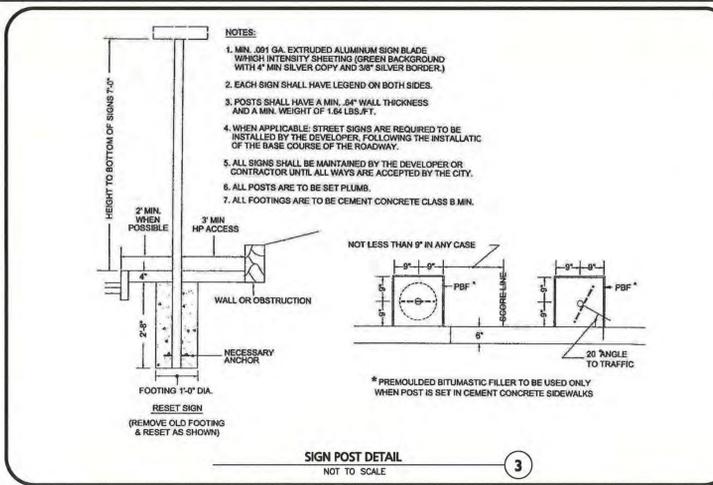
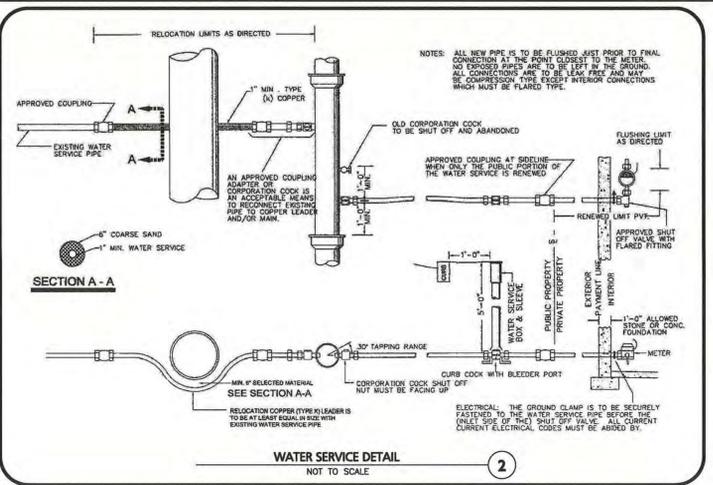
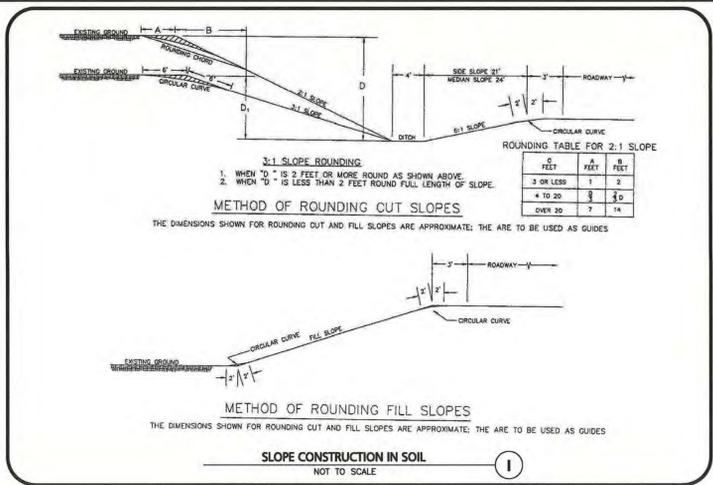
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SHEET TITLE

DETAILS

C-502



THE RESIDENCES ON THE CHARLES

15 RIVERDALE AVENUE
 NEWTON, MA

CPC LAND ACQUISITION
 COMPANY, LLC

ARCHITECT

E-ICON
 ARCHITECTURE
 101 SUMMER ST BOSTON MA 02110

CONSULTANT
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STAMP

 TIMOTHY J. WILLIAMS
 CIVIL
 No. 43119
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF MASSACHUSETTS

PROFESSIONAL ENGINEER FOR
 ALLEN & MAJOR ASSOCIATES, INC.

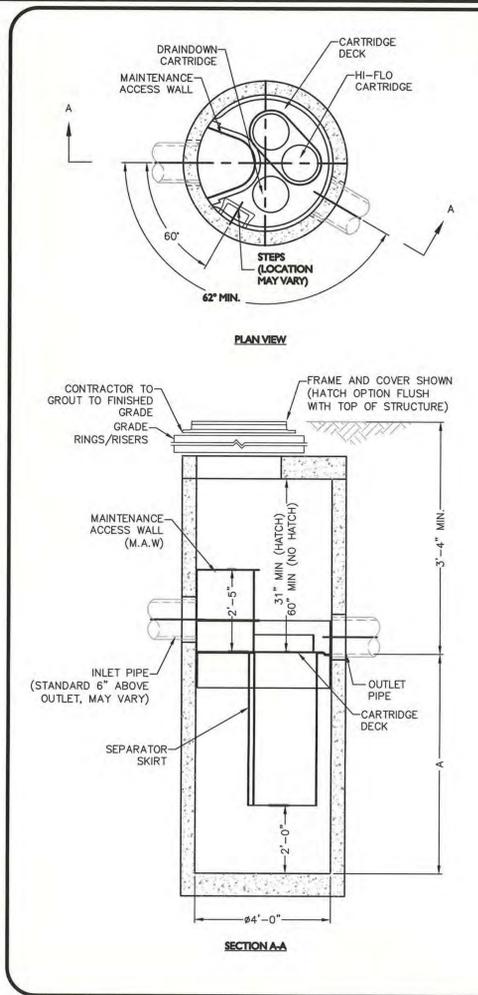
KEY PLAN

1	12-11-2019	COMP. PERMIT
MARK	DATE	DESCRIPTION
PROJECT NUMBER: 1374-23		
DRAWN BY: AM/ND		
CHECKED BY: TJW		

SHEET TITLE

DETAILS

C-503



JELLYFISH DESIGN NOTES

JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN. #48\"/>

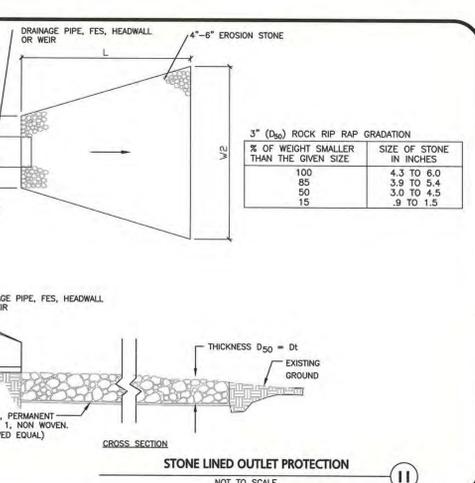
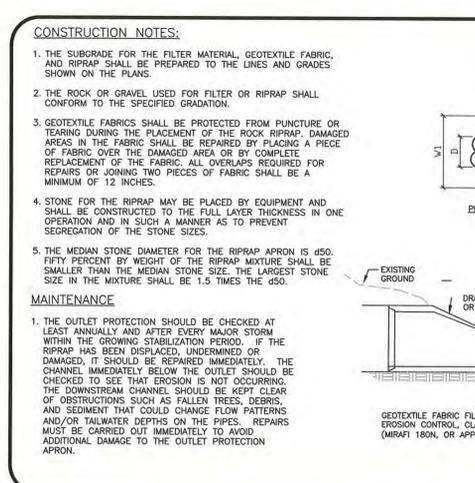
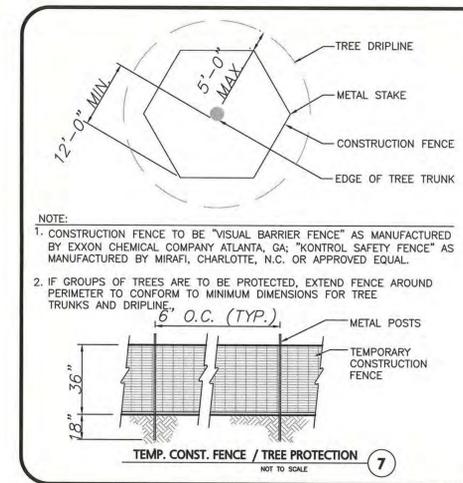
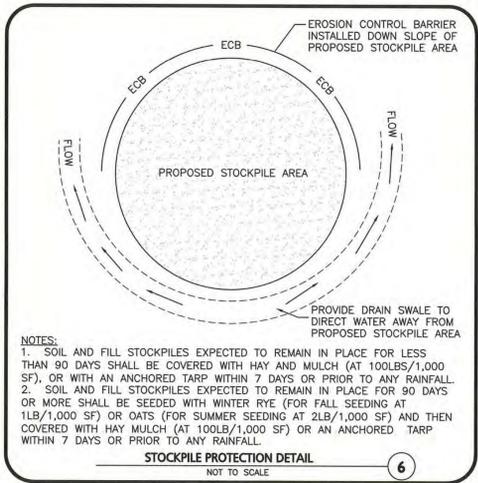
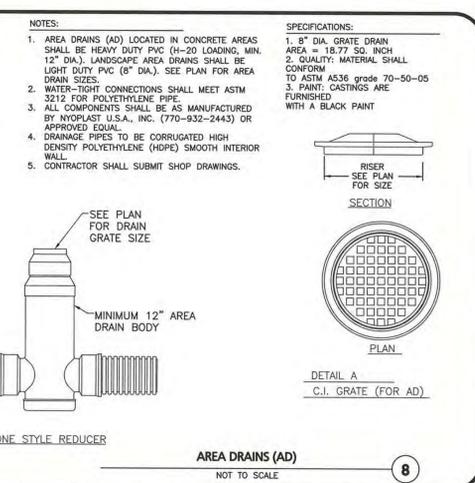
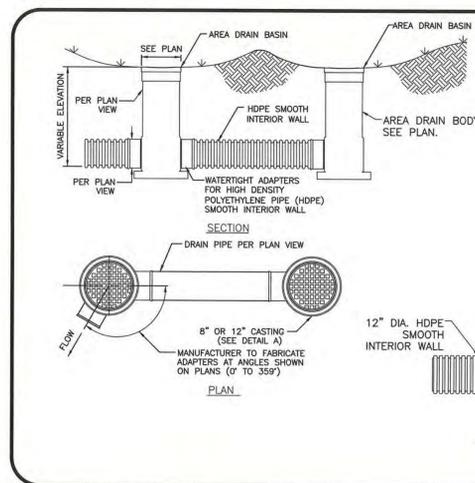
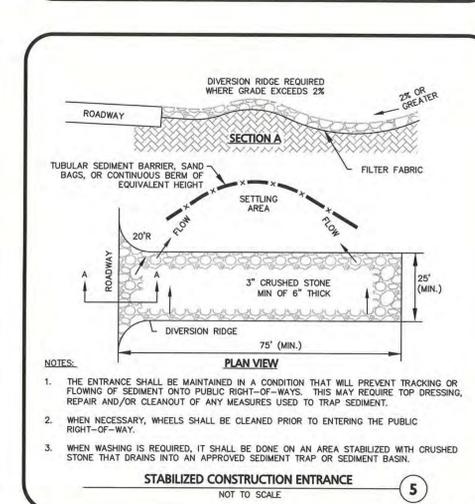
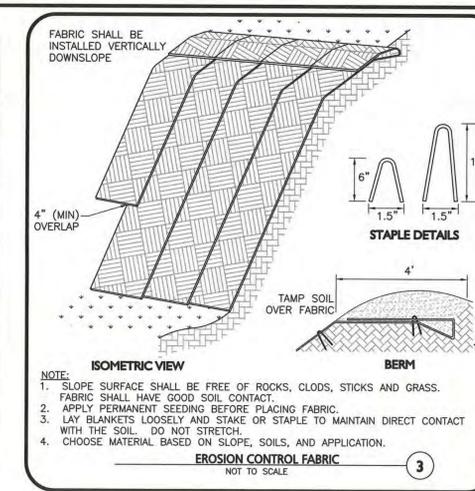
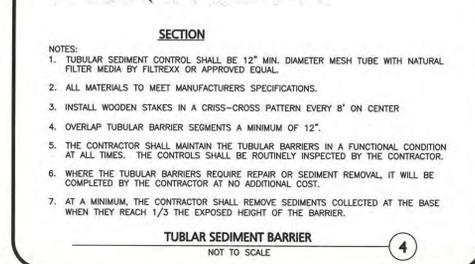
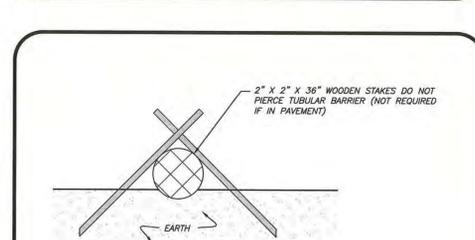
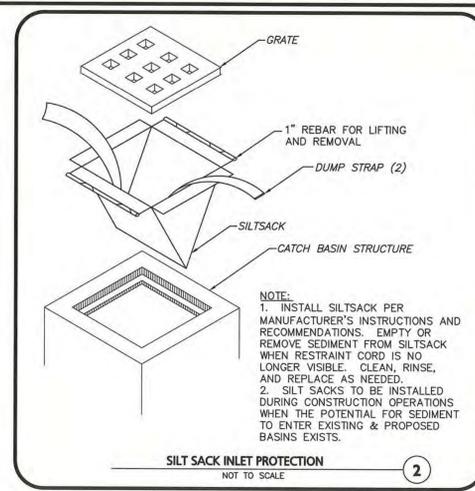
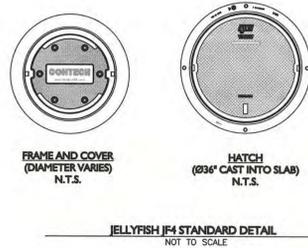
CARTRIDGE SELECTION	54"	40"	27"	15"
CARTRIDGE DEPTH	54"	40"	27"	15"
OUTLET INVERT TO STRUCTURE INVERT (A)	6'-5"	5'-3"	4'-2"	3'-2"
FLOW RATE HIGH-FLO/ DRAIN-DOWN (cfs) (per cart)	0.18/0.09	0.13/0.065	0.09/0.045	0.05/0.025
MAX. CARTS HIGH-FLO/DRAIN-DOWN	2/1			

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
- JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO HS-20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 5' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
- JELLYFISH STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN ON SITE SPECIFIC DRAWINGS.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW CARTRIDGE DECK ARE GROUTED.
- CARTRIDGE INSTALLATION, BY CONTECH, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTACT CONTECH TO COORDINATE CARTRIDGE INSTALLATION.



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TEL: 617-552-8888

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

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PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

KEY PLAN

MARK	DATE	DESCRIPTION
1	12-11-2019	COMP. PERMIT

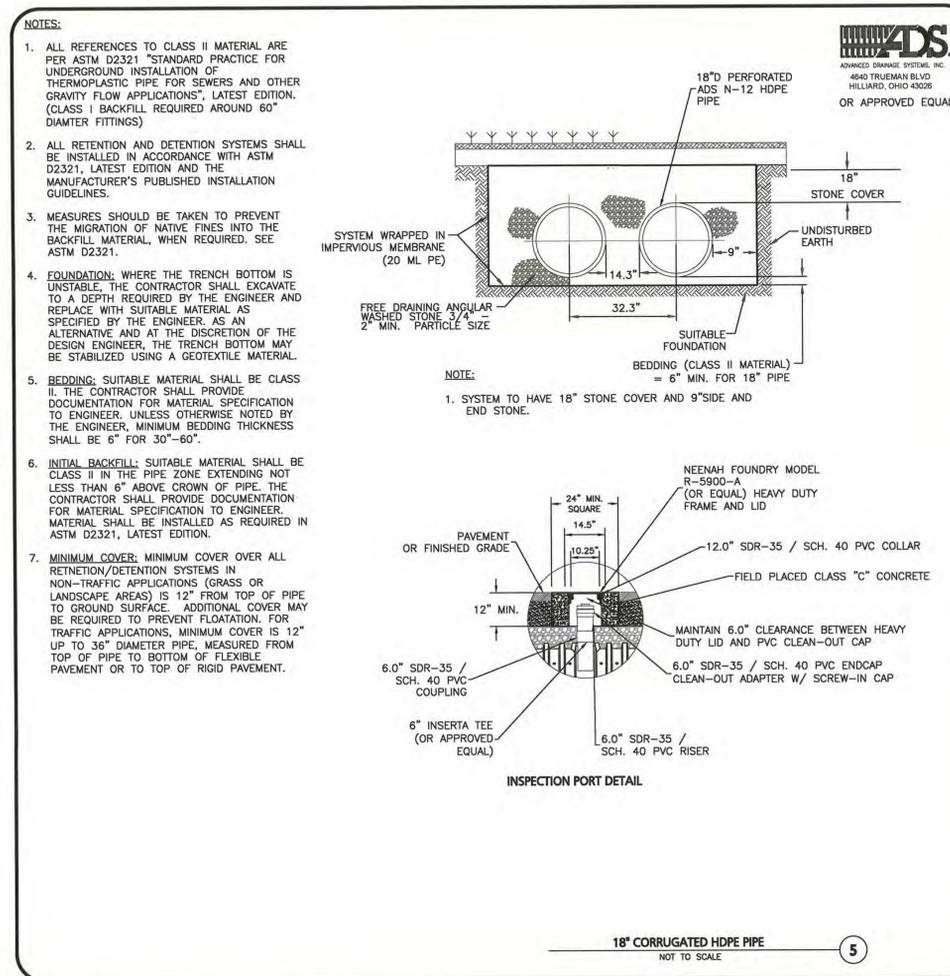
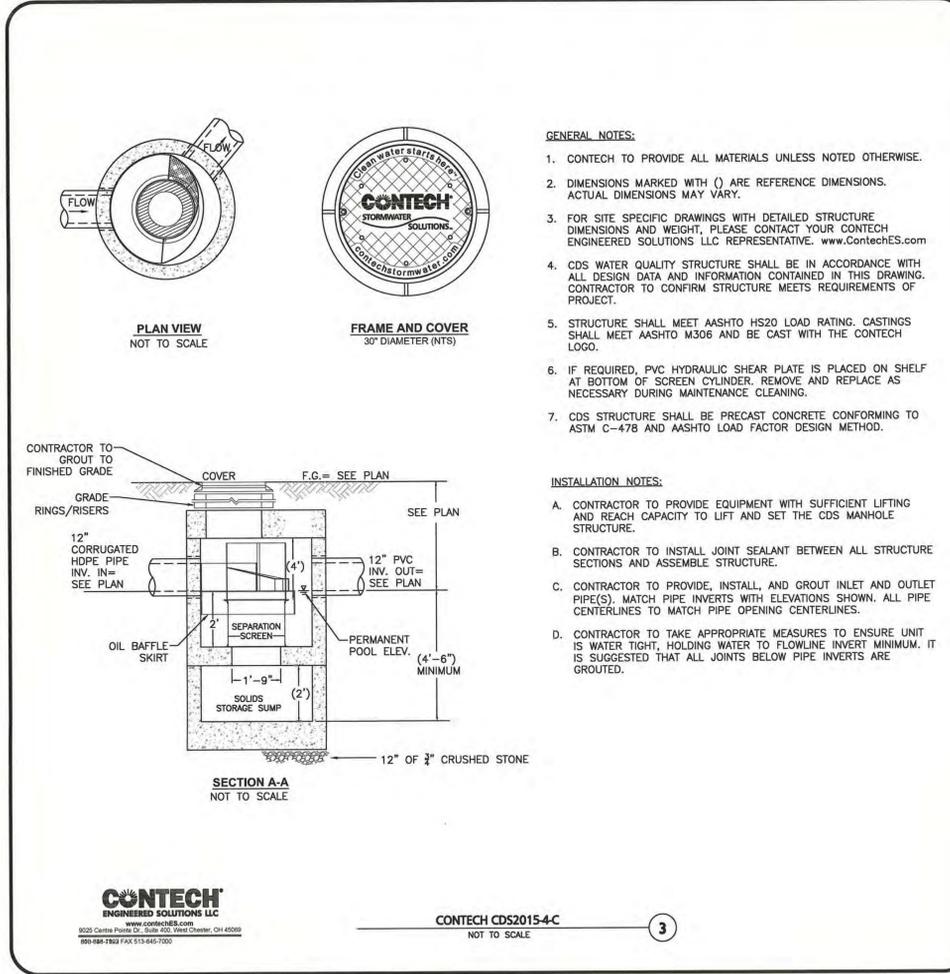
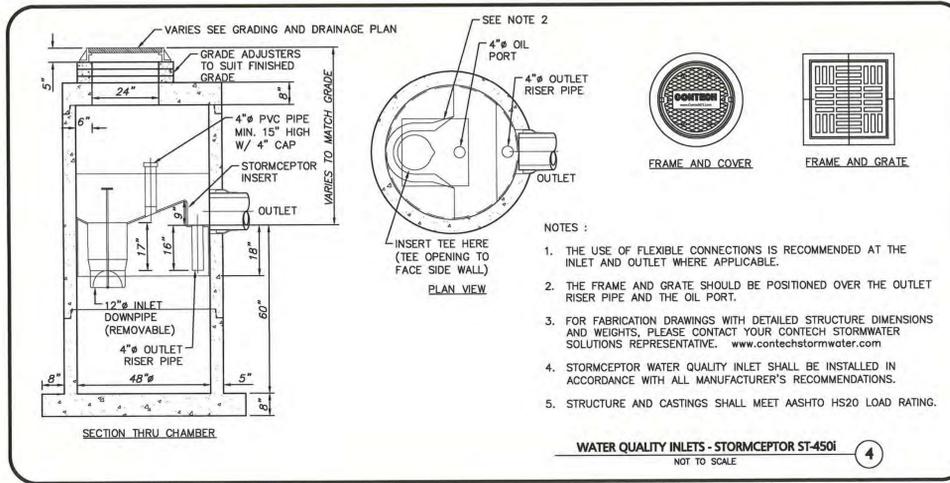
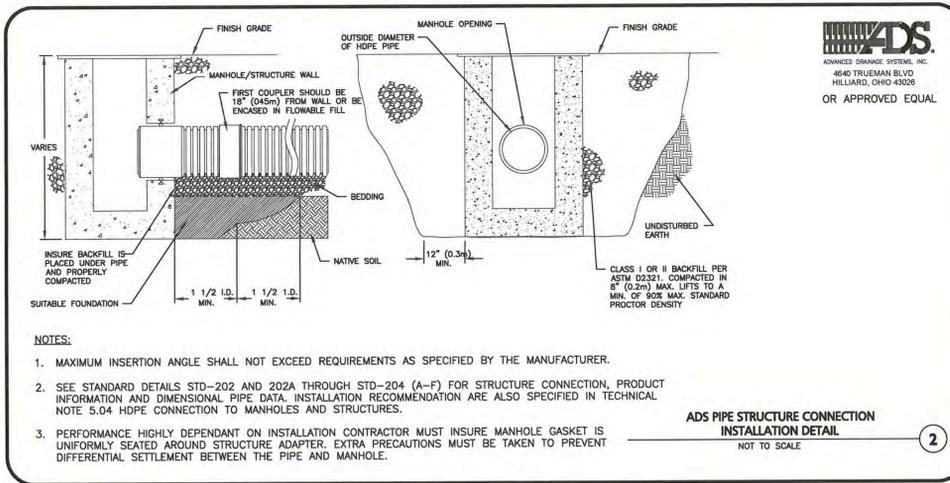
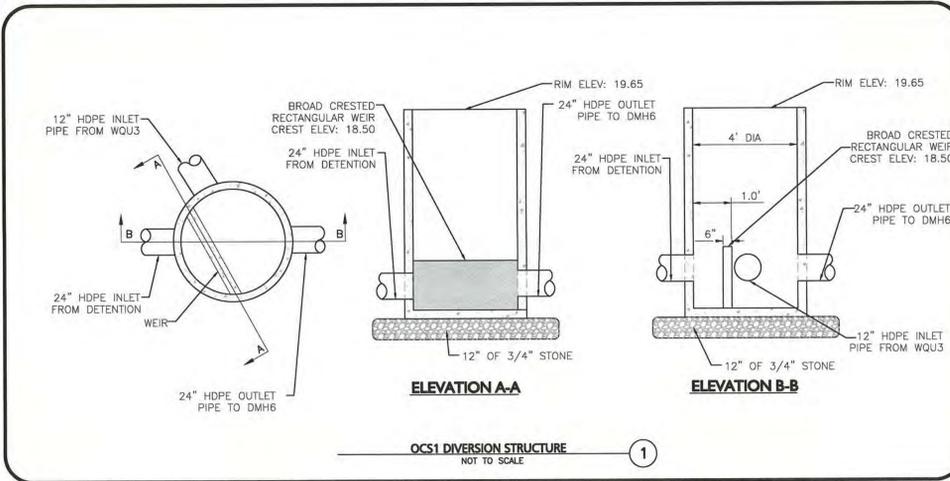
PROJECT NUMBER: 1374-23
DRAWN BY: AM/ND
CHECKED BY: T.J.W.

SHEET TITLE

DETAILS

C-504

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NEWTON, MA
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101 SUMMER ST BOSTON MA 02110

CONSULTANT
ALLEN & MAJOR ASSOCIATES, INC.
PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

STAMP
TIMOTHY J. WILLIAMS
CIVIL
No. 43119
REGISTERED ENGINEER

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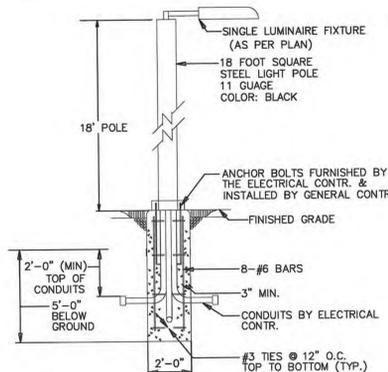
MARK	DATE	COMP.	PERMIT DESCRIPTION
1	12-11-2019	COMP.	PERMIT

PROJECT NUMBER: 1374-23
DRAWN BY: AM/ND
CHECKED BY: TJW

SHEET TITLE
DETAILS
C-505

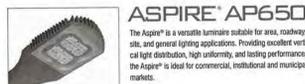
ILLUMINATION CALCULATION SUMMARY		
Overall Area	Units	Avg
MAX	Fc	0.95
	Fc	31.7

OUTDOOR LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	DESCRIPTION	ARRANGEMENT	ARM	LUMENS	LLF	FILENAME		
○	21	BL1	RT4xx-28L45T3-MDL05-CA	SINGLE	0	3658	0.900	RT4xx-28L45T3-MDL05-CAIES		
○	15	PT1	SL660-12L40T5-MDL01B-SV1	SINGLE	0	5427	0.900	SL660-12L40T5-MDL01B-SV1IES		
○	4	SL1	ML740-38L40T3-MDL014-SV1-BLOC	SINGLE	1.5	11577	0.900	ML740-38L40T3-MDL014-SV1-BLOCIES		
○	9	CL 22	CL	GROUP	N.A.	N.A.	0.350	N.A.		



STREET LIGHT POLE & BASE DETAIL
NOT TO SCALE

STERNBERG - ASPIRE AP650



STREET LIGHT

STENBERG - SL660 SOLANA SERIES

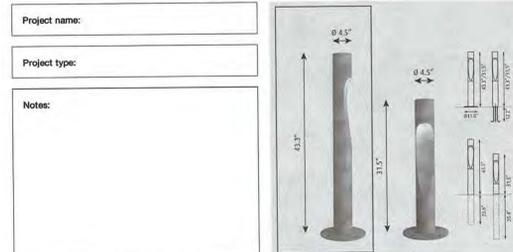


POLE LIGHT

LOUIS POULSON - FLINDT

Specification sheet

Flindt Bollard



BOLLARD LIGHT

TARGETTI DURALED CABLE LIGHT



Key Features

- Perfect for festoon mounting and garden lighting, taught or swayed with cable mounted downward direction for outdoor use. IP65 use. Product can be mounted in outward or upward directions for indoor/outdoor damp IP44 use.
- Sockets available in E26 medium base and GU10 base.
- Lamp spacing available in 12" OC and 24" OC.
- To be completed with Stargazer or Techno Vintage lamp offering, sold separately.
- Provided with one Male 2 prong 120V AC plug with lift lead and one female 2 hole 120V AC socket with 2R end per spool.
- Max continuous length: 1100W max per continuous interconnected spools.
- Standard spool length: 48R 48 sockets @ 12" OC or 48R 24 sockets @ 24" OC



QUICK SHIP

Details

- Spacing: 12" or 24" OC Socket Spacing
- Lamp Type: For use with Duraled Stargazer or DecoLED Techno Vintage Series (see page 2)
- Wattage: E26 Medium Base - 25W max socket GU10 Base - 20W max socket
- Voltage: 120V AC 60Hz
- Installation: Junction Box or GFI installation only. Attach to aircraft cable provided by client. Recommended 1/2" aircraft cable for wall to wall installation. 3/8" aircraft cable for pole to pole installation. Optional cable wrap encases aircraft cable and Duraled Cable for a clean one wire look (see page 2).
- Weight: E26 Medium Base Cable Only: 12" OC = 0.08Lbs/ft 24" OC = 0.15Lbs/ft GU10 Base Cable Only: 12" OC = 0.20Lbs/ft 24" OC = 0.36Lbs/ft
- IP Rating: IP65 (IP44 if mounted in outward or upward direction)
- Certification: *Tie 24 commercial installation compliant (GU10 only).
- Listing: cETLus
- Warranty: 3 year warranty
- *Dark Sky Compliant when using Decorative Shade and Stargazer lamp.

Dimensional Drawings



Installation Examples



CABLE LIGHTS



LEGEND:

STREET LIGHT	○
POLE LIGHT	○
BOLLARD LIGHT	○
PHOTOMETRICS	0.0 0.2 0.6

NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- LIGHTS WITHIN THE PARKING AREAS AND ACCESS DRIVES SHALL OPERATE ON A PHOTO-CELL & PROGRAMMABLE TIMER.
- COURTYARD LIGHTS SHALL OPERATE ON A SEPARATE CIRCUIT FROM THE PARKING AREAS AND ACCESS DRIVES.
- CONTROLS FOR ALL EXTERIOR LIGHTING BY BUILDING CONTRACTOR.
- WIRING OF BUILDING MOUNTED FIXTURES (IF ANY) BY BUILDING CONTRACTOR.
- STREET LIGHTS TO HAVE TOP OF CONCRETE FOUNDATION SET FLUSH WITH CONCRETE SIDEWALK.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
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ARCHITECT



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CONSULTANT



PHOTOMETRICS PREPARED BY:
OMNI-LITE, INC.
263 WMN STREET BURLINGTON, MA 01803
PH # 781-272-2300, FAX # 781-272-0759
www.omnilite.com
Contact: Paul Abdella

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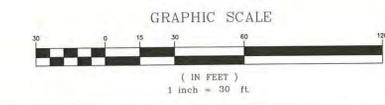
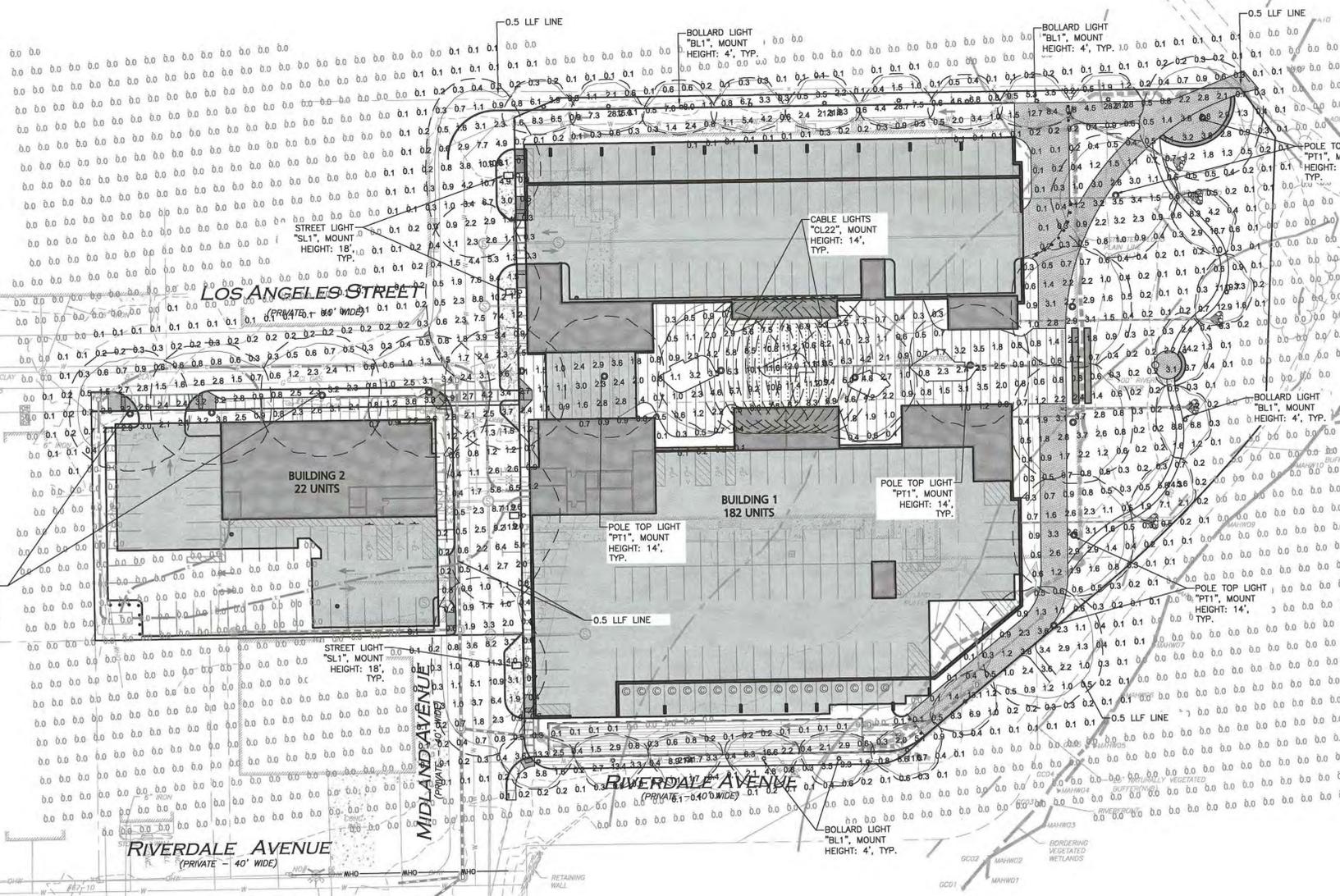
KEY PLAN

PROJECT NUMBER:	1374-23
DRAWN BY:	AM/ND
CHECKED BY:	TJW

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SHEET TITLE
LIGHTING PLAN

E-101



CALIFORNIA STREET (PUBLIC)

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NEWTON

15 RIVERDALE AVENUE
NEWTON, MA

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PARTNERS

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CONSULTANT

CW Copley Wolff Design Group
DG Landscape Architects & Planners

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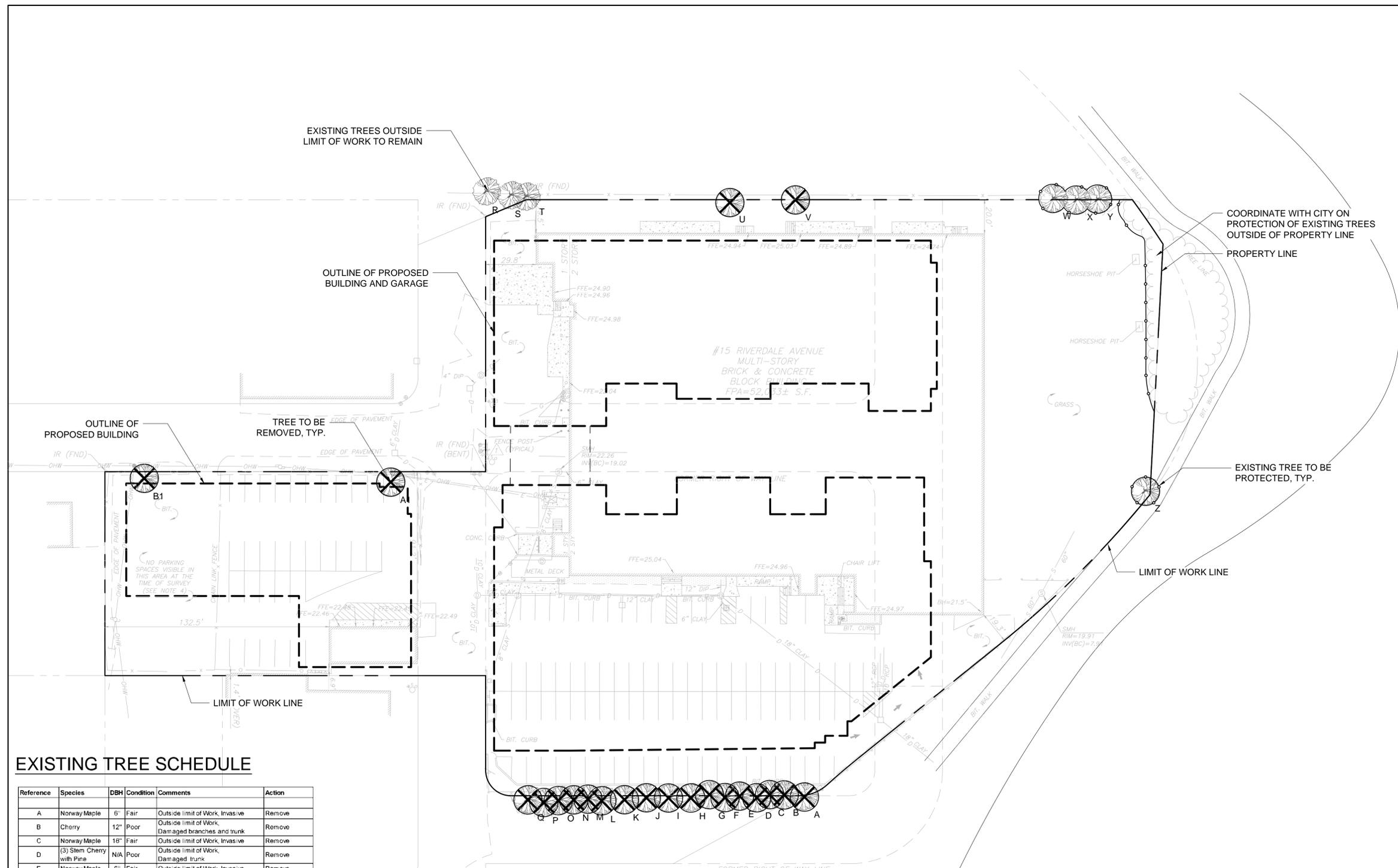
1	08/02/2019	40B SUBMISSION
MARK	DATE	DESCRIPTION

PROJECT NUMBER: 218007
DRAWN BY: IR
CHECKED BY: IR

SHEET TITLE

TREE PROTECTION/
REMOVAL PLAN

L-000



EXISTING TREE SCHEDULE

Reference	Species	DBH	Condition	Comments	Action
A	Norway Maple	6"	Fair	Outside limit of Work, Invasive	Remove
B	Cherry	12"	Poor	Outside limit of Work, Damaged branches and trunk	Remove
C	Norway Maple	18"	Fair	Outside limit of Work, Invasive	Remove
D	(3) Stem Cherry with Pine	N/A	Poor	Outside limit of Work, Damaged trunk	Remove
E	Norway Maple	5"	Fair	Outside limit of Work, Invasive	Remove
F	Norway Maple	8"	Poor	Outside limit of Work, Partially grown into fence	Remove
G	Alanthus	12"	Poor	Outside limit of Work, Partially grown into fence, Invasive	Remove
H	Alanthus	10"	Poor	Outside limit of Work, Disfigured and damaged branches, Invasive	Remove
I	Norway Maple	8"	Poor	Outside limit of Work, Disfigured and damaged branches	Remove
J	(3) Stem Cherry	N/A	Poor	Outside limit of Work, Damaged Trunk	Remove
K	Norway Maple	5"	Fair	Outside limit of Work, Invasive	Remove
L	(2) Stem Norway Maple	N/A	Fair	Outside limit of Work, Invasive	Remove
M	Norway maple	5"	Fair	Outside limit of Work, Invasive	Remove
N	Cherry	5"	Poor	Outside limit of Work, Invasive	Remove
O	Norway Maple	8"	Fair	Outside limit of Work, Invasive	Remove
P	Multi-Stem Alanthus	N/A	Poor	Outside limit of Work, Invasive	Remove
Q	Alanthus and Norway Maple	N/A	Poor	Outside limit of Work, Partially grown into fence	Remove
R	White Pine	12"	Good	Outside limit of Work	Protect
S	Norway Maple	18"	Poor	Partially grown into fence, Off Site	Protect
T	Norway Maple	30"	Poor	Partially grown into fence, Off Site	Protect
U	Multi-stem Elm	N/A	Poor	Damaged trunk	Remove
V	Norway Maple	15"	Poor	Partially grown into fence, Off Site	Remove
W	(4) Stem Cherry	12"	Fair	Some Deadwood	Protect & Prune
X	Cherry	10"	Fair	Some Deadwood	Protect & Prune
Y	Cherry	8"	Fair	Some Deadwood	Protect & Prune
Z	Sycamore	12"	Good		Protect
A1	Alanthus	8"	Fair	Invasive	Remove
B1	Alanthus	10"	Poor	Grown into power lines, Invasive	Remove

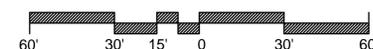
TREE PROTECTION NOTES

- THIS SHEET DESCRIBES EXISTING TREE PRESERVATION AND REMOVAL WORK ONLY. REFER TO CIVIL ENGINEER'S DRAWINGS FOR COMPLETE SITE PREP AND DEMO REQUIREMENTS.
- TREE PROTECTION FENCING SHALL BE INSTALLED AS SHOWN ON THIS PLAN AND REMAIN THROUGHOUT THE TIME OF CONSTRUCTION AS SPECIFIED AND DIRECTED BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL TAG ALL TREES TO BE REMOVED AND VERIFY WITH OWNER'S REPRESENTATIVE PRIOR TO THE START OF DEMOLITION.
- FOR ALL SITE PREP AND DEMO WORK OUTSIDE TREE PROTECTION AREA, SEE CIVIL ENGINEER'S DRAWINGS. NO STORAGE OF ANY TYPE OF MATERIAL, CHEMICAL OR EQUIPMENT SHALL BE ALLOWED IN THE PROTECTED FENCED IN AREA
- BEFORE THE START OF ANY WORK ON THE SITE, PRECEDING THE ARRIVAL OF EQUIPMENT, MATERIALS OR VEHICLES TO THE SITE, AND PRIOR TO THE COMMENCEMENT OF ANY CLEARING ON THE SITE, THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION CONFERENCE ON THE SITE WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT TO IDENTIFY TREES AND SHRUBS THAT ARE TO BE PROTECTED OR REMOVED. DO NO CLEARING WITHOUT A CLEAR UNDERSTANDING OF EXISTING CONDITIONS TO BE PRESERVED. REFER TO SPECIFICATION SECTION 01 56 39 FOR MORE INFORMATION.
- PERFORM SELECTIVE THINNING AND REMOVAL OF EXISTING TREES AS IDENTIFIED IN FIELD BY LANDSCAPE ARCHITECT AND / OR CERTIFIED ARBORIST.
- PROVIDE PRUNING AND REMOVAL OF EXISTING UNDERSTORY VEGETATION AS IDENTIFIED IN FIELD BY LANDSCAPE ARCHITECT.
- REMOVE AND DISPOSE OF DEBRIS AS DIRECTED BY THE OWNER.
- PROVIDE ALLOWANCE FOR SOIL STABILIZATION WITH JUTE MAT AND SEEDING IN AREAS IDENTIFIED IN FIELD BY LANDSCAPE ARCHITECT.
- ALL EXCAVATION TO BE DONE BY HAND TO MINIMIZE DISTURBANCE TO ROOT ZONES.
- SURROUND ENTIRE TREE PROTECTION AREA WITH 6' HIGH CHAIN LINK CONSTRUCTION FENCE WITH 2 DOUBLE LEAF GATES WITH PAD LOCKS.

TREE PROTECTION LEGEND

-  EXISTING TREE
-  TREE TO BE REMOVED
-  TREE TO BE PROTECTED, TYP.

SCALE: 1"=30'



NEWTON

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D G Landscape Architects & Planners

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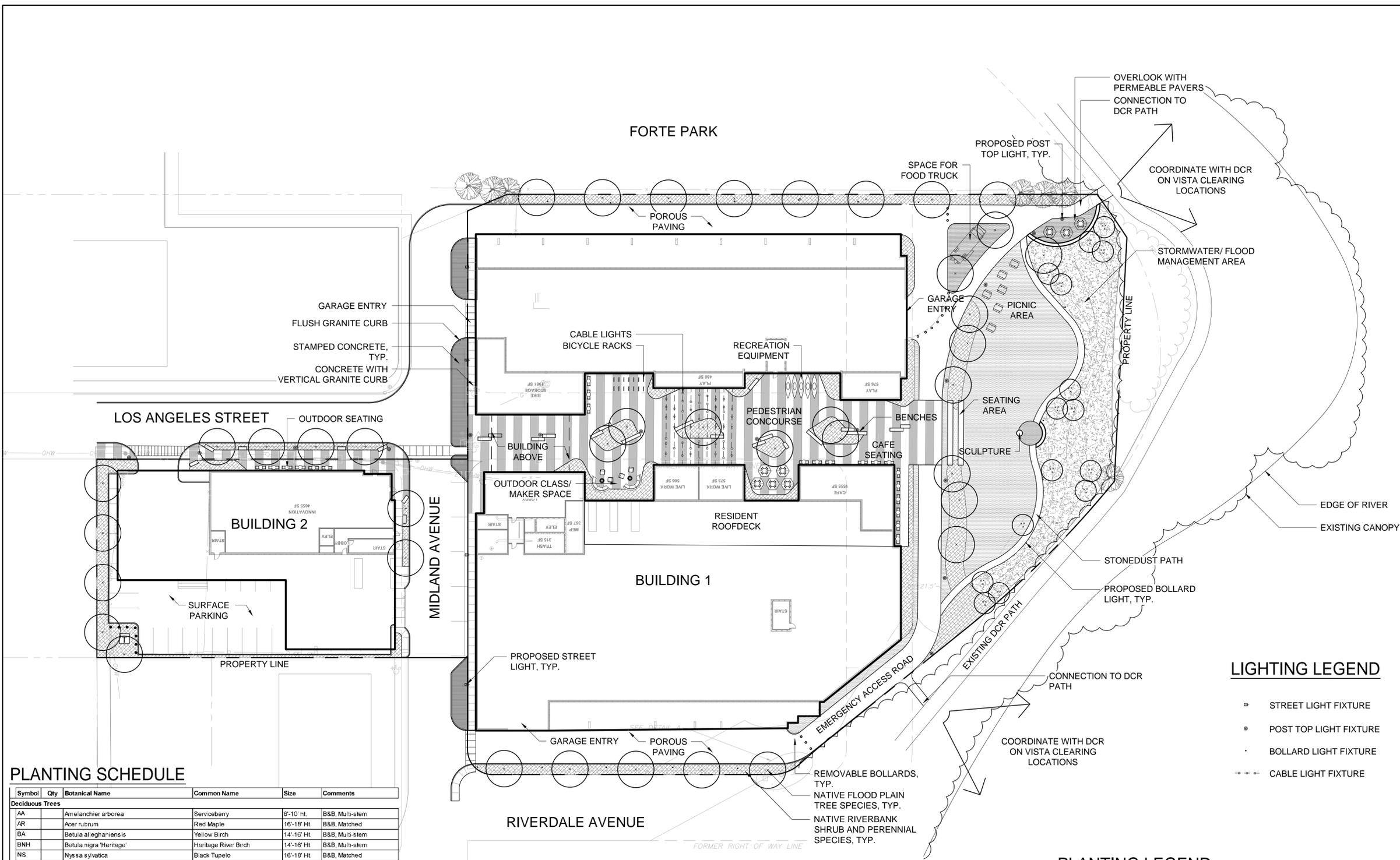
1	08/02/2019	40B SUBMISSION
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CHECKED BY: IR

SHEET TITLE

LANDSCAPE PLAN

L-100

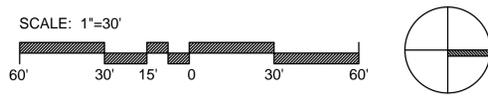


LIGHTING LEGEND

- ◻ STREET LIGHT FIXTURE
- POST TOP LIGHT FIXTURE
- BOLLARD LIGHT FIXTURE
- CABLE LIGHT FIXTURE

PLANTING LEGEND

- PROPOSED NATIVE SHADE TREE
- PROPOSED NATIVE ORNAMENTAL TREE
- EXISTING TREE TO REMAIN
- ▨ NATIVE SHRUB AND PERENNIAL PLANTING
- ▨ STORMWATER/ FLOOD MANAGEMENT PLANTING/ SEEDING
- ▨ LAWN



PLANTING SCHEDULE

Symbol	Qty	Botanical Name	Common Name	Size	Comments
Deciduous Trees					
AA		Amelanchier arborea	Serviceberry	8'-10' ht.	B&B, Multi-stem
AR		Acer rubrum	Red Maple	16'-18' Ht.	B&B, Matched
BA		Betula alleghaniensis	Yellow Birch	14'-16' Ht.	B&B, Multi-stem
BNH		Betula nigra 'Heritage'	Heritage River Birch	14'-16' Ht.	B&B, Multi-stem
NS		Nyssa sylvatica	Black Tupelo	16'-18' Ht.	B&B, Matched
OB		Quercus bicolor	Swamp White Oak	2"-2.5" cal.	B&B, Matched
OR		Quercus rubra	Red Oak	2"-2.5" cal.	B&B, Matched
RT		Rhus typhina	Staghorn Sumac	4'-6' Ht.	B&B, Multi-stem
SA		Sassafras albidum	Sassafras	8'-10' Ht.	B&B, Multi-stem
Evergreen Trees					
CT		Chamaecyparis thyoides	Atlantic White Cedar	8'-10' Ht.	B&B, Matched
IO		Ilex opaca	American Holly	8'-10' Ht.	B&B, Matched
JV		Juniperus virginiana	Eastern Red Cedar	10'-12' Ht.	B&B, Matched
Shrubs					
CA		Clethra alnifolia 'Sixteen Candles'	Summersweet	18"-24" ht.	#2 Cont.
CR		Cornus racemosa	Gray Dogwood	18"-24" ht.	#2 Cont.
DL		Diervilla lonicera	Northern Bush Honeysuckle	18"-24" ht.	#2 Cont.
HQ		Hydrangea quercifolia	Oakleaf Hydrangea	30"-36" ht.	#2 Cont.
JH		Juniperus horizontalis 'Wiltonii'	Croeping Juniper	12"-18" ht.	#2 Cont.
MP		Myrica pensylvanica	Bayberry	24"-30" ht.	#2 Cont.
RV		Rhododendron viscosum	Swamp Azalea	18"-24" ht.	#2 Cont.
RA		Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	12"-18" ht.	#2 Cont.
VD		Viburnum dentatum	Aronwood Viburnum	24"-30" ht.	#2 Cont.
Perennials					
ARJ		Actaea racemosa 'James Compton'	Snakeroot	18"-24" ht.	#2 Cont.
CT		Clematis racemosa	Sweet Autumn Clematis	1 gal.	#2 Cont.
DC		Deschampsia cespitosa	Tufted Hair Grass	12"-18" ht.	#2 Cont.
MP		Mattuccia struthioflera	Ostrich Fern	1 gal.	#2 Cont.
NR		Nepeta racemosa 'Walker's Low'	Walker's Low Catmint	18"-24" ht.	#2 Cont.
OC		Osmunda cinnamomea	Cinnamon Fern	18"-24" ht.	#2 Cont.
SN		Symphoricarpos novi-belgii 'Wood's Light Blue'	Light Blue New York Aster	1 gal.	#2 Cont.

PLANTING NOTES

- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE PLANT LIST, THE PLANTING PLAN SHALL GOVERN.
- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN ADDITION, ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY.
- ALL NEW PLANTS TO BE BALLED & BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
- THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL NEW PLANTS SHALL BE TAGGED AND APPROVED BY THE LANDSCAPE ARCHITECT AT THE NURSERY PRIOR TO DIGGING OR DELIVERY TO THE SITE.
- CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
- STAKE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING.
- NEW SHRUBS AND GROUND COVER SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS IT BORE TO PREVIOUS GRADE. TREES SHALL BE SET 3" HIGHER THAN PREVIOUS GRADE. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.
- ALL PLANT BEDS TO RECEIVE UN-DYED, AGED AND SHREDDED BARK MULCH AS PER SPECIFICATIONS.
- ALL EXISTING TREES TO REMAIN SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. PROTECTION TECHNIQUES SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.
- PRUNE TREES IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED BY CONTRACTOR UNTIL FINAL ACCEPTANCE AND GUARANTEED FOR 1 CALENDAR YEAR
- PROPOSED TREE AND SHRUB AREAS TO BE IRRIGATED. CONTRACTOR TO PROVIDE IRRIGATION PLAN FOR REVIEW BY LANDSCAPE ARCHITECT.

Residences on the Charles

15 RIVERDALE AVENUE
NEWTON, MA

CPC Land Acquisition
Company, LLC

ARCHITECT

ICON
ARCHITECTURE

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CONSULTANT

STAMP



KEY PLAN

MARK	DATE	DESCRIPTION
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PROJECT NUMBER: 218007
DRAWN BY: Author
CHECKED BY: Checker

SHEET TITLE

LOCUS MAP

A-100



Residences on the Charles

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NEWTON, MA

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KEY PLAN

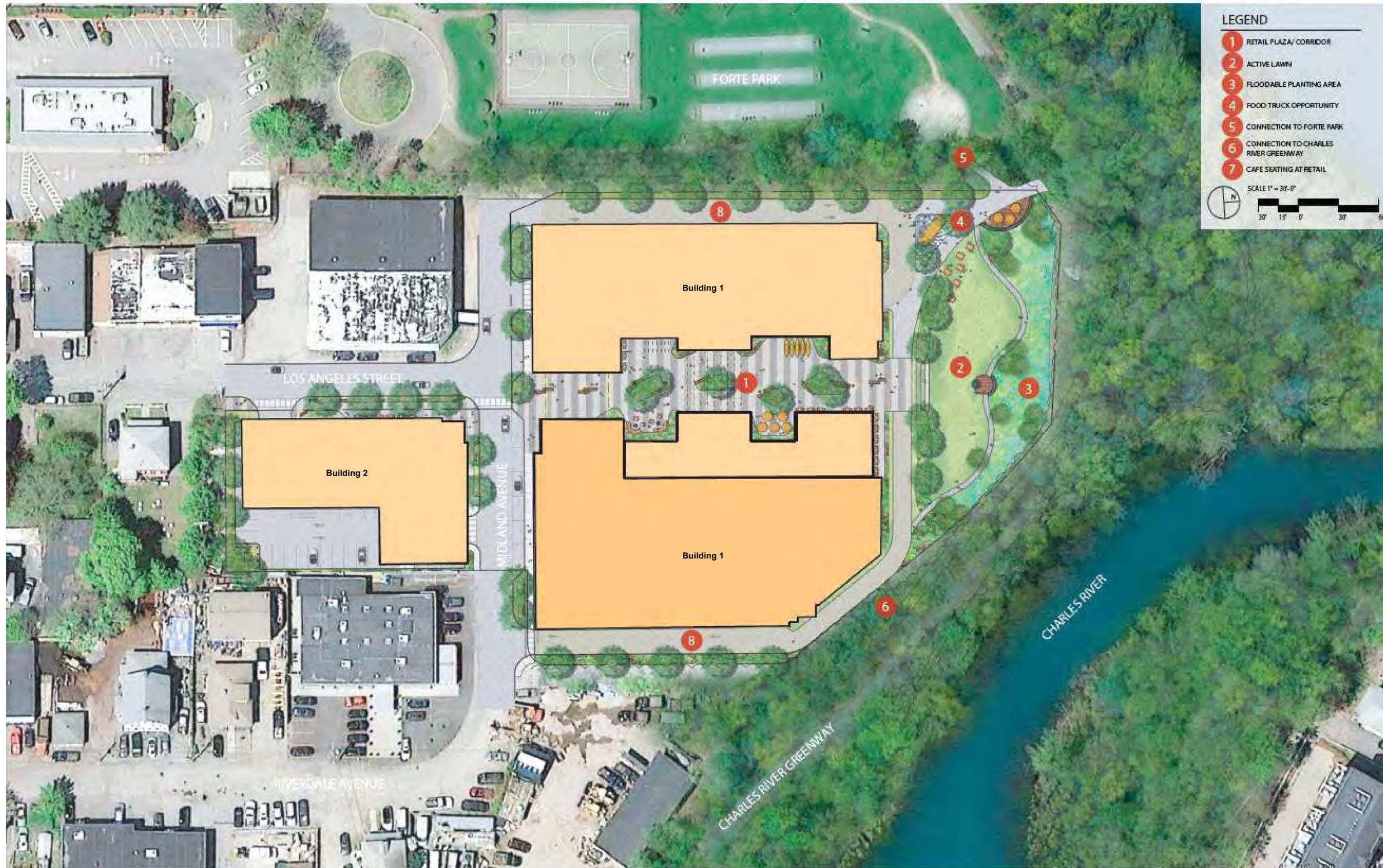
MARK	DATE	DESCRIPTION
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SHEET TITLE

SITE PLAN

A-100a



12/12/2019 11:38:23 AM

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SHEET TITLE

GROUND LEVEL
FLOOR & PARKING
PLAN

A-101

12/12/2019 11:38:25 AM

1 LEVEL 1 FLOOR PLAN
1" = 20'-0"



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KEY PLAN

MARK	DATE	DESCRIPTION
1	11/20/2019	Comp Permit

PROJECT NUMBER: 218007

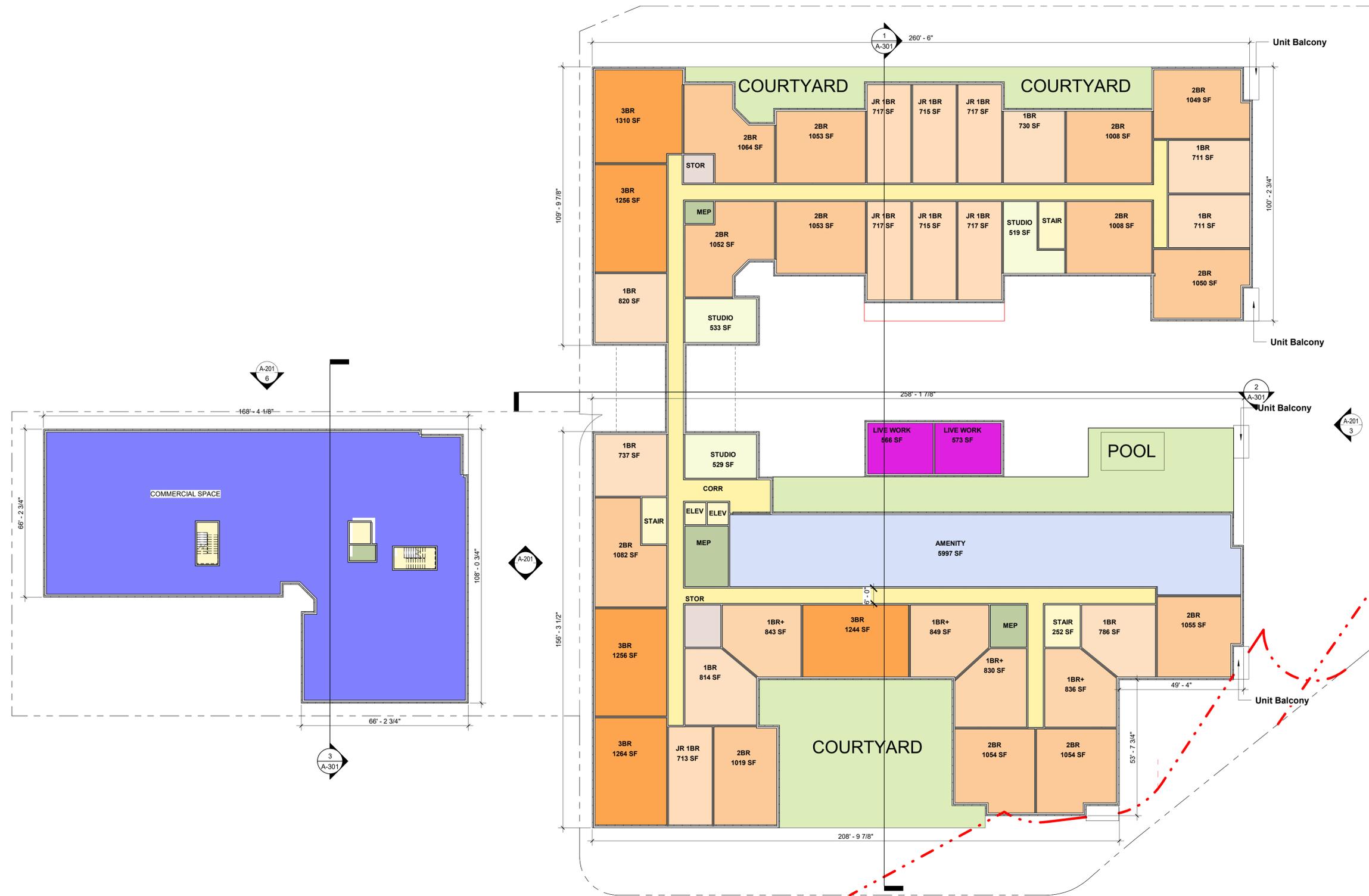
DRAWN BY: ST

CHECKED BY: MM

SHEET TITLE

2ND FLOOR PLAN

A-102



12/12/2019 11:38:26 AM

1 LEVEL 2 FLOOR PLAN
1" = 20'-0"



Residences on the Charles

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NEWTON, MA

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KEY PLAN

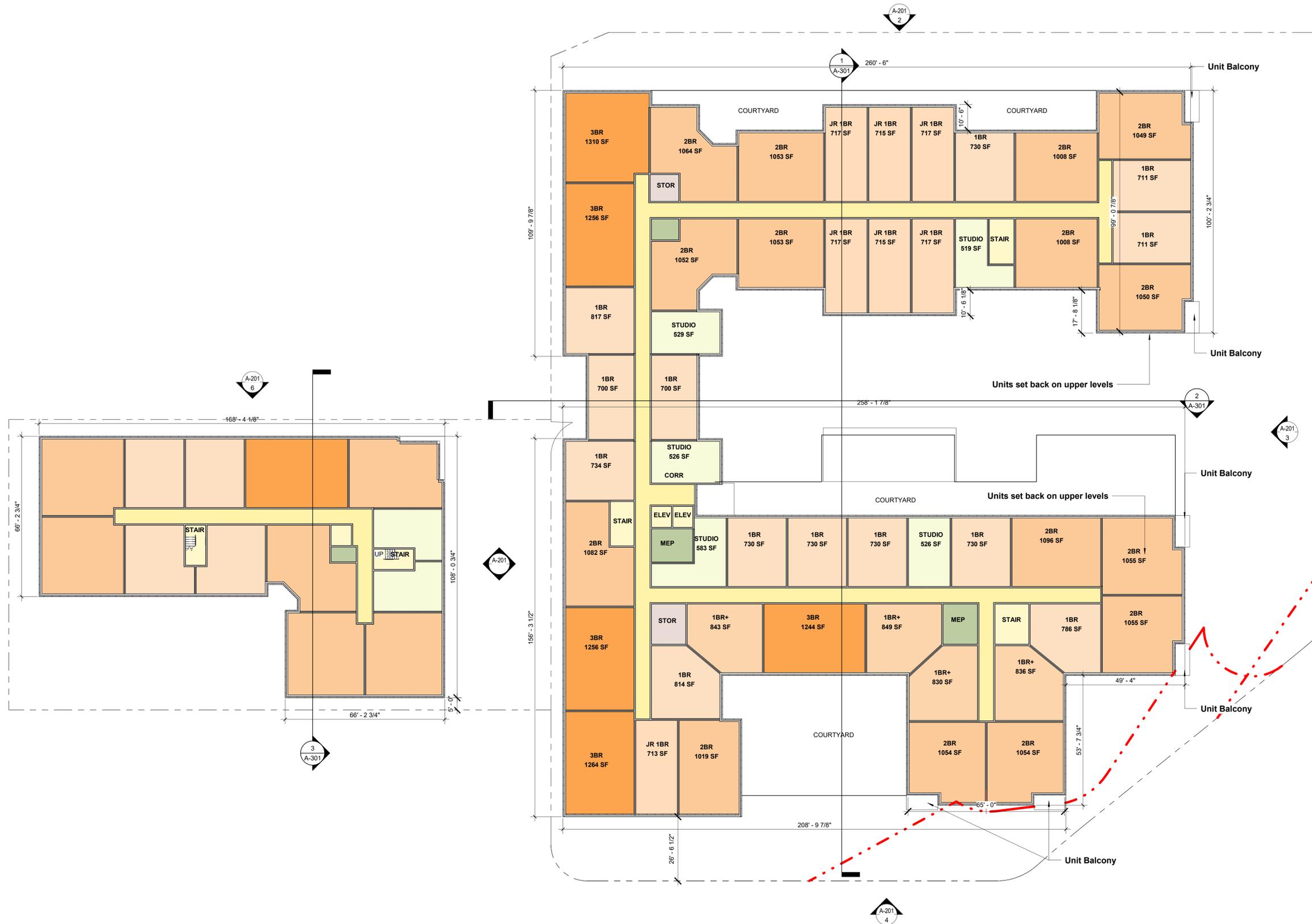
MARK	DATE	DESCRIPTION
1	11/20/2019	Comp Permit

PROJECT NUMBER: 218007
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SHEET TITLE

3RD FLOOR PLAN

A-103



12/12/2019 11:38:30 AM

1 LEVEL 3 FLOOR PLAN
1" = 20'-0"



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KEY PLAN

1	11/20/2019	Comp Permit
MARK	DATE	DESCRIPTION

PROJECT NUMBER: 218007
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CHECKED BY: MM

SHEET TITLE

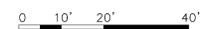
4TH FLOOR PLAN

A-104



12/12/2019 11:38:33 AM

1 LEVEL 4 FLOOR PLAN
1" = 20'-0"



Residences on the Charles

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KEY PLAN

1	11/20/2019	Comp Permit
MARK	DATE	DESCRIPTION

PROJECT NUMBER: 218007
DRAWN BY: ST
CHECKED BY: MM

SHEET TITLE

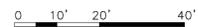
5TH FLOOR PLAN

A-105



12/12/2019 11:38:36 AM

1 LEVEL 5 FLOOR PLAN
1" = 20'-0"



Residences on the Charles

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KEY PLAN

MARK	DATE	DESCRIPTION
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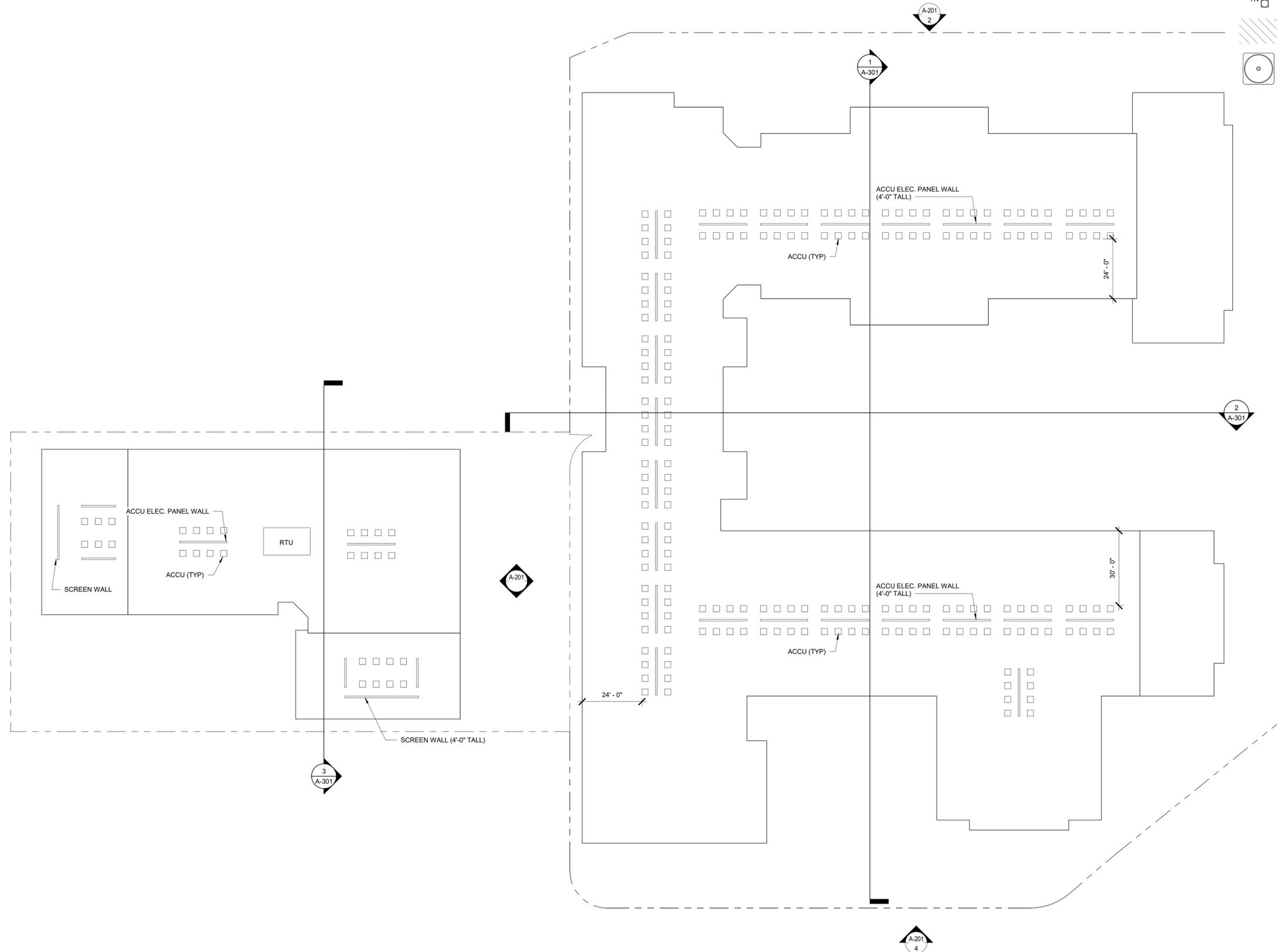
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DRAWN BY: ST
CHECKED BY: MM

SHEET TITLE

ROOF PLAN

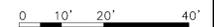
A-106

- RD ROOF DRAIN AND SECODARY OVERFLOW DRAIN
- FV FIREPLACE VENT
- PV PLUMBING VENT
- MV MECHANICAL VENT
- RV RADON VENT
- ROOF WALKWAY PADS
- AIR COOLED CONDENSING UNITS



12/12/2019 11:38:37 AM

1 ROOF PLAN
1" = 20'-0"



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KEY PLAN

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SHEET TITLE

BUILDING
ELEVATIONS

A-201



1 BUILDING 1 - SOUTH ELEVATION AS SEEN FROM MIDLAND AVENUE
1" = 20'-0"



2 BUILDING 1 - WEST ELEVATION AS SEEN FROM FORTE PARK
1" = 20'-0"



3 BUILDING 1 - NORTH ELEVATION AS SEEN FROM RIVER
1" = 20'-0"



4 BUILDING 1 - EAST ELEVATION AS SEEN FROM CHARLES RIVER GREENWAY
1" = 20'-0"



5 BUILDING 2 - WEST ELEVATION AS SEEN FROM LOS ANGELES STREET
1" = 20'-0"



6 BUILDING 2 - NORTH ELEVATION AS SEEN FROM MIDLAND AVENUE
1" = 20'-0"

Residences on the Charles

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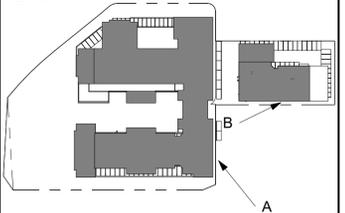
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SHEET TITLE

PERSPECTIVES

A-202



PERSPECTIVE VIEW "A"



PERSPECTIVE VIEW "B"



PERSPECTIVE VIEW "C"



PERSPECTIVE VIEW "D"

Residences on the Charles

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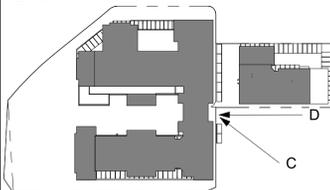
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SHEET TITLE

PERSPECTIVES

A-203



PERSPECTIVE VIEW "E"



PERSPECTIVE VIEW "F"

Residences on the Charles

15 RIVERDALE AVENUE
NEWTON, MA

CPC Land Acquisition
Company, LLC

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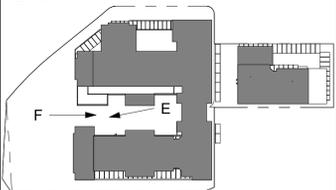
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KEY PLAN



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PROJECT NUMBER: 218007

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SHEET TITLE

PERSPECTIVES

A-204

Residences on the Charles

15 RIVERDALE AVENUE
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Company, LLC

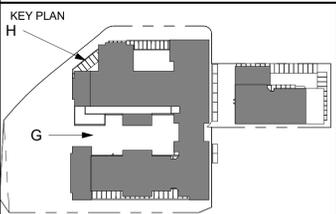
ARCHITECT



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MARK	DATE	DESCRIPTION
PROJECT NUMBER: 218007		
DRAWN BY: Author		
CHECKED BY: Checker		

SHEET TITLE

PERSPECTIVES

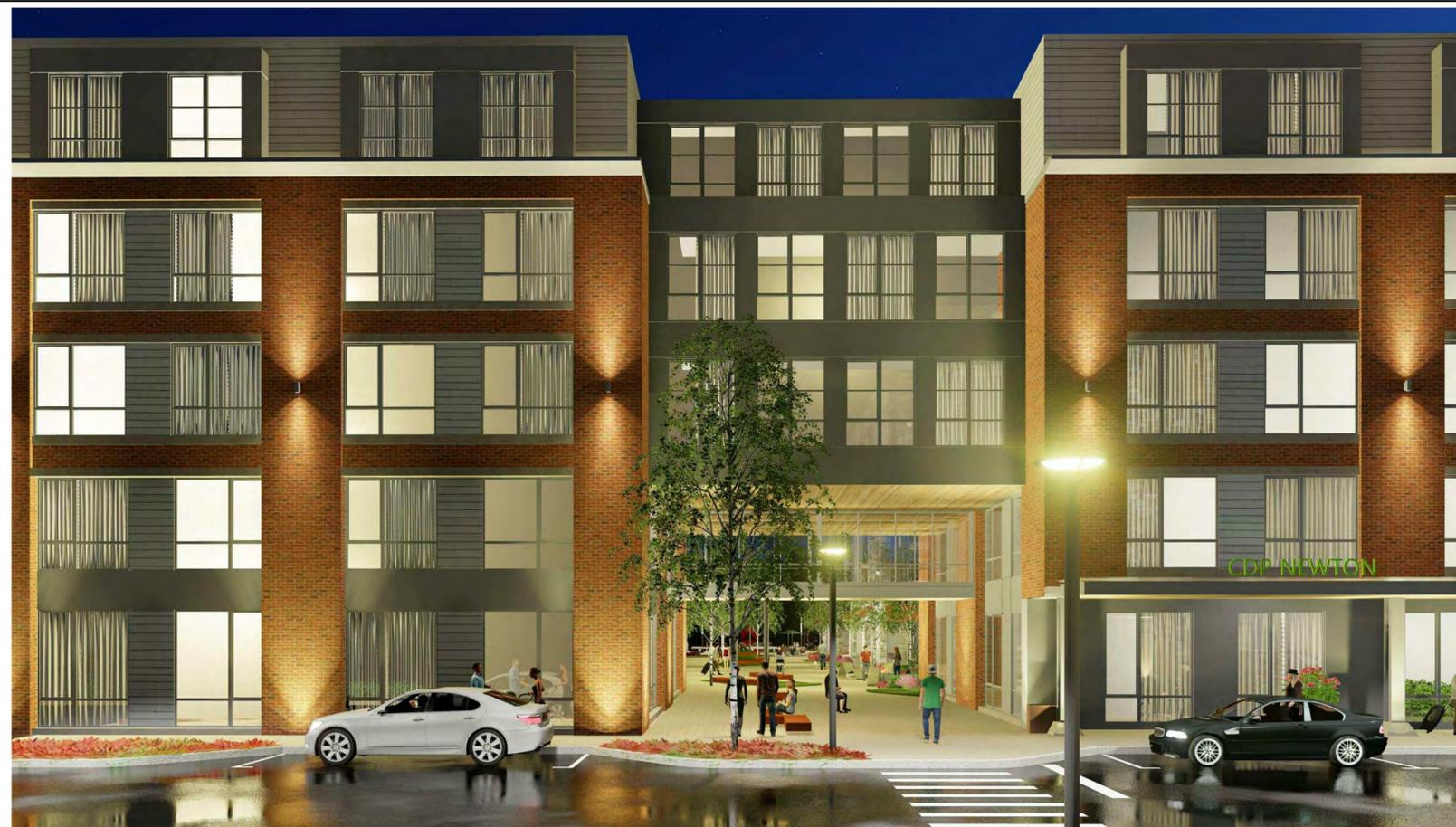
A-205



PERSPECTIVE VIEW "G"



PERSPECTIVE VIEW "H"



PERSPECTIVE VIEW "1"

Residences on the Charles

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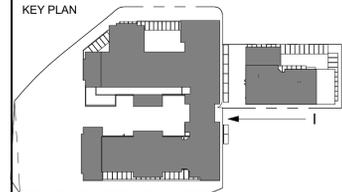
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KEY PLAN



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SHEET TITLE

PERSPECTIVES

A-206



Residences on the Charles

15 RIVERDALE AVENUE
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KEY PLAN

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CHECKED BY: Checker		

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CHECKED BY: Checker

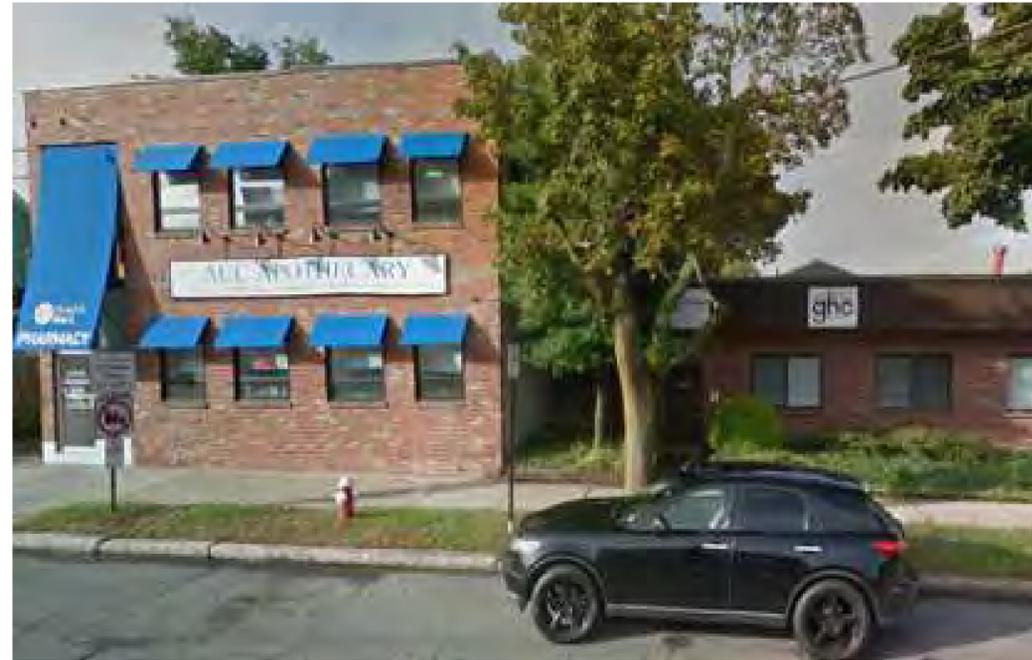
SHEET TITLE

CONTEXT

A-207



1 DONATO TOOLS AND HARDWARE



2 ACC APOTHECARY



3 PSMJ ARCHITECTURE, ENGINEERING, CONSTRUCTION



4 PHILIP A. RAND WIRE ROPE AND SLINGS COMPANY



LOCUS MAP

Residences on the Charles

15 RIVERDALE AVENUE
NEWTON, MA

CPC Land Acquisition
Company, LLC

ARCHITECT

ICON
ARCHITECTURE

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PROJECT NUMBER: 218007

DRAWN BY: Author

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SHEET TITLE

CONTEXT -
MANUFACTURING

A-208



1 217 CALIFORNIA STREET



2 ACTION ATHLETICS TRAINING



2 ACTION ATHLETICS TRAINING



1 217 CALIFORNIA STREET



LOCUS MAP

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KEY PLAN

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SHEET TITLE

CONTEXT - MILL BUILDINGS

A-209

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KEY PLAN

MARK	DATE	DESCRIPTION
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PROJECT NUMBER: 218007

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SHEET TITLE

MATERIALS - STREET SIDE

A-210



HARDIE LAP SIDING 4" EXPOSURE



ARTISAN SHIP LAP / WOOD LOOK



METAL PANEL



BRICK



Residences on the Charles

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KEY PLAN

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SHEET TITLE

MATERIALS -
COURTYARD

A-211



VERTICAL SIDING



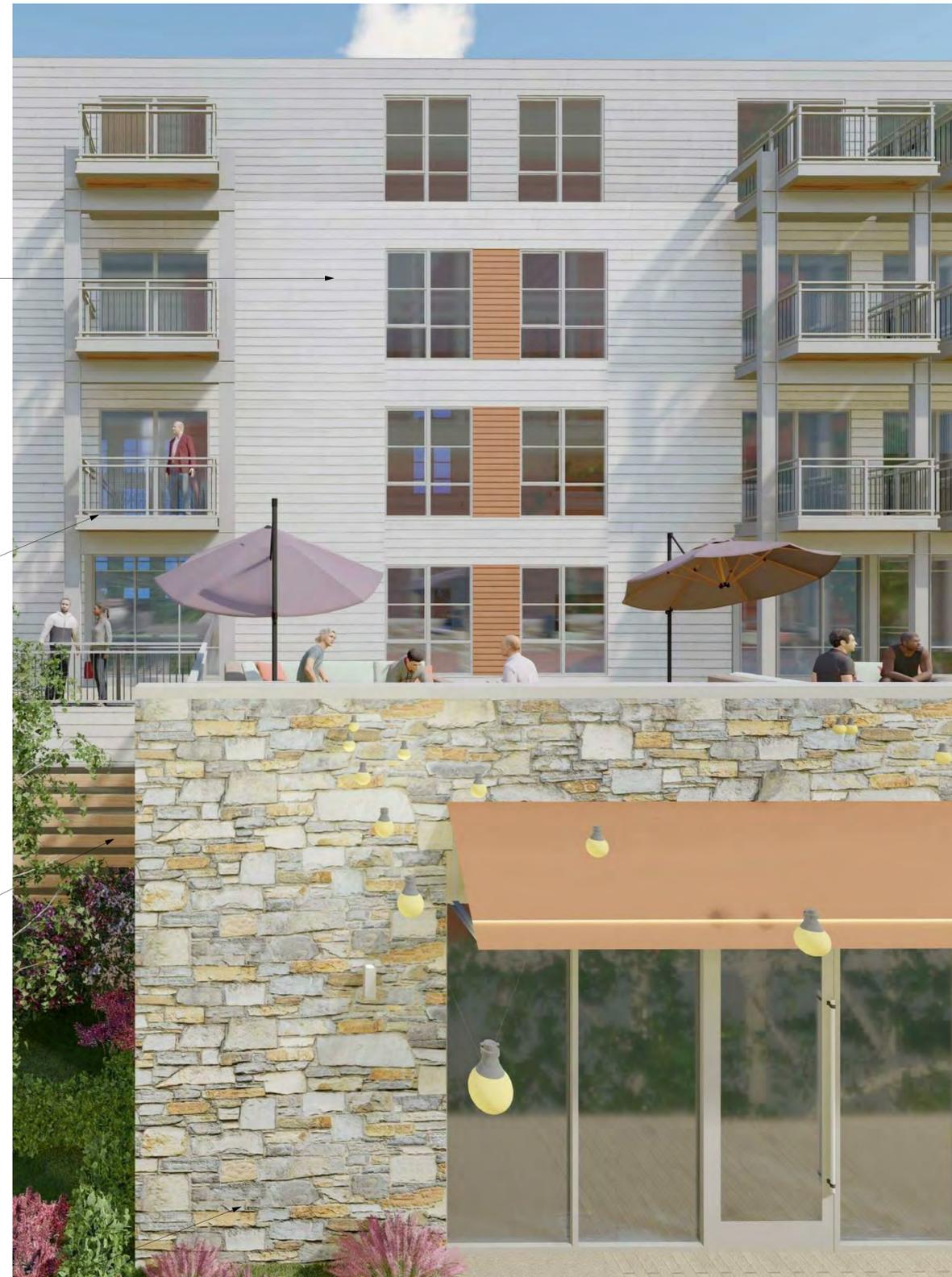
STEEL BALCONIES



WOOD LOOK FENCING



FIELD STONE



Residences on the Charles

15 RIVERDALE AVENUE
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CPC Land Acquisition
Company, LLC

ARCHITECT



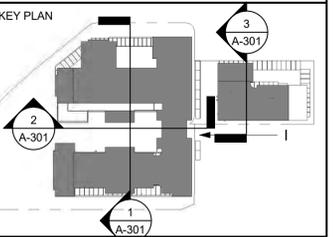
101 SUMMER ST BOSTON MA 02110

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STAMP



KEY PLAN



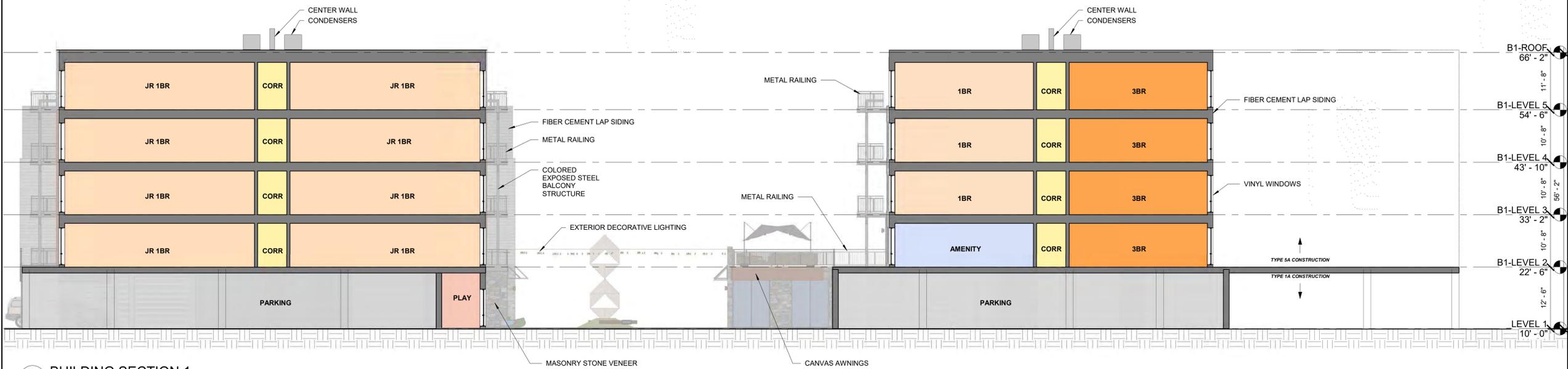
MARK	DATE	DESCRIPTION
1	11/20/2019	Comp Permit

PROJECT NUMBER: 218007
DRAWN BY: ST
CHECKED BY: MM

SHEET TITLE

BUILDING SECTIONS

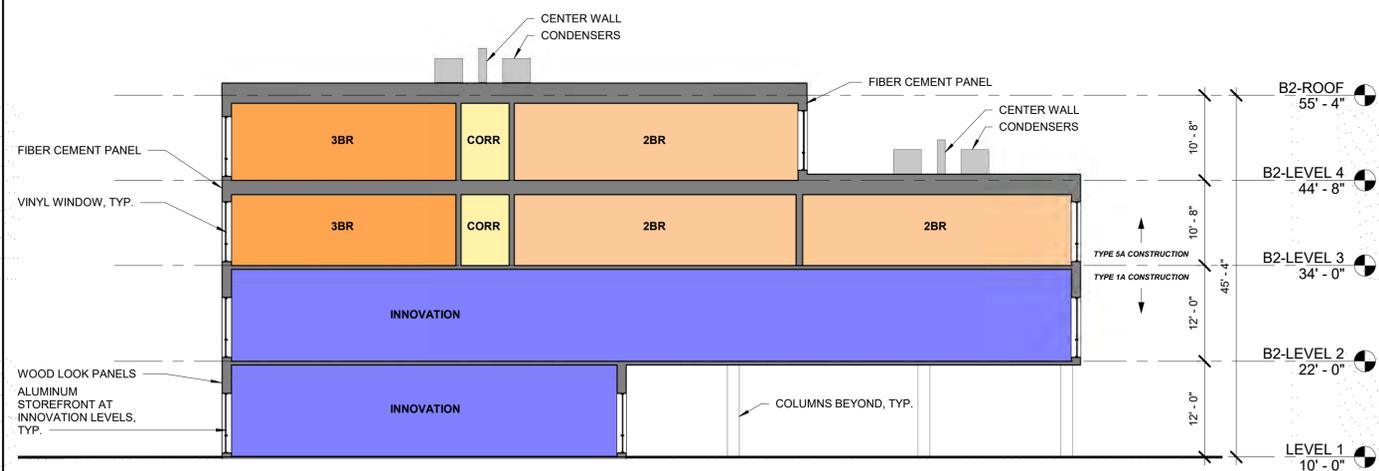
A-301



1 BUILDING SECTION 1
3/32" = 1'-0"



2 BUILDING SECTION 2
3/32" = 1'-0"



3 BUILDING SECTION 3
3/32" = 1'-0"

12/12/2019 11:54:22 AM

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KEY PLAN

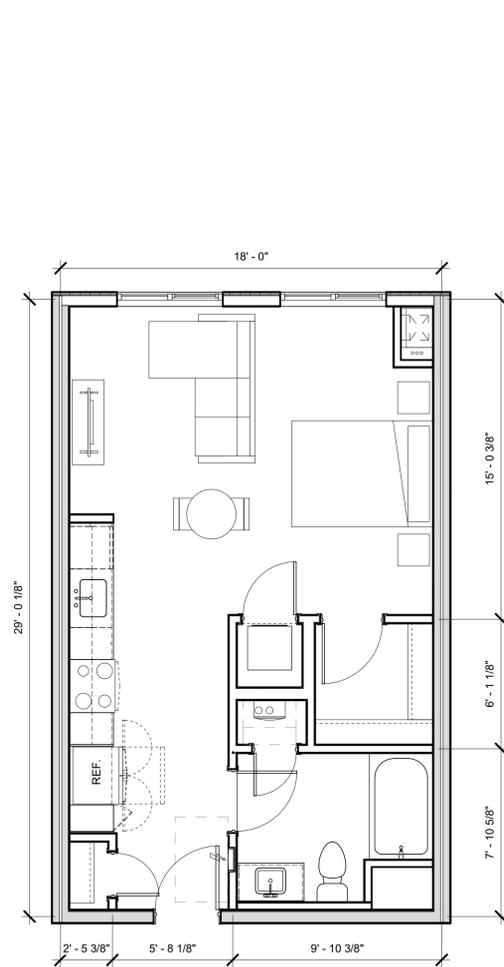
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PROJECT NUMBER: 218007
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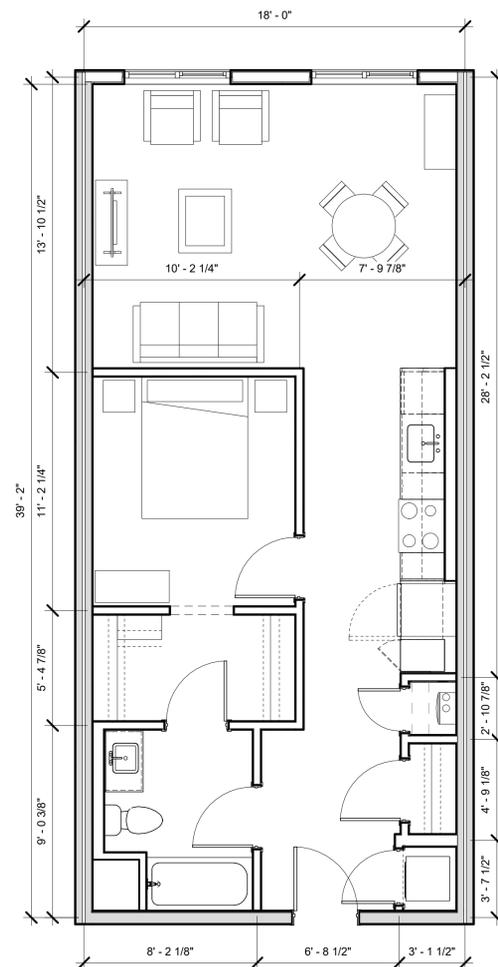
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ENLARGED UNIT
PLANS

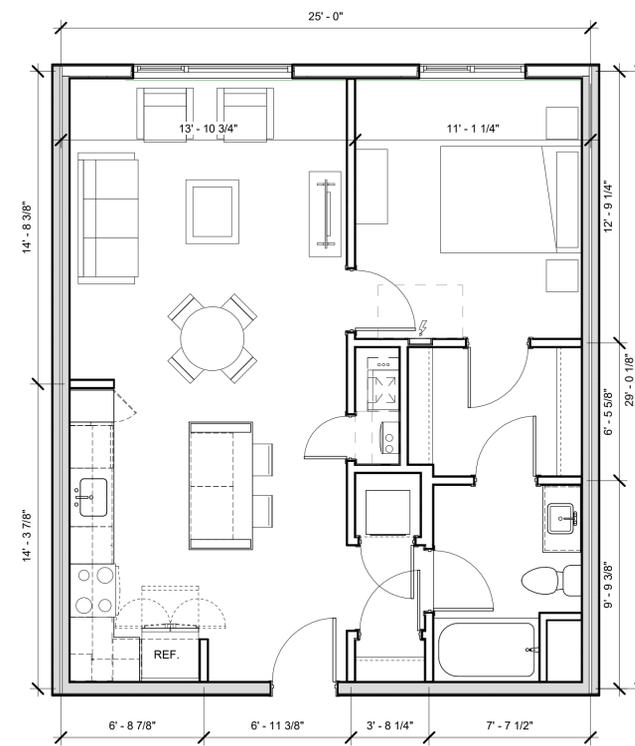
A-501



1 STUDIO
1/4" = 1'-0"



3 JUNIOR 1BR
1/4" = 1'-0"



2 1BR
1/4" = 1'-0"

Residences on the Charles

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NEWTON, MA

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KEY PLAN

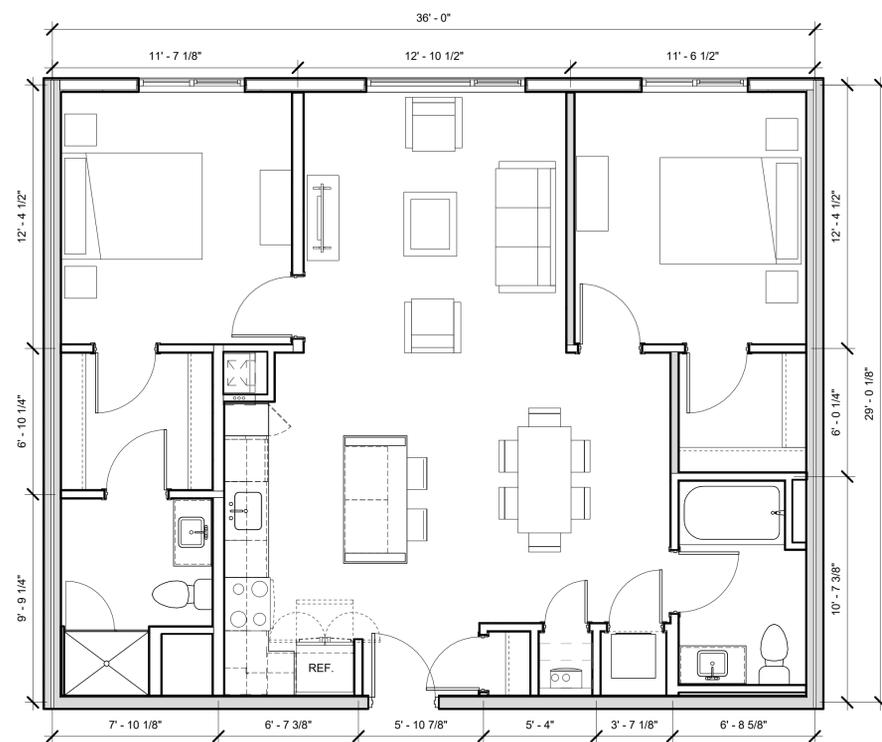
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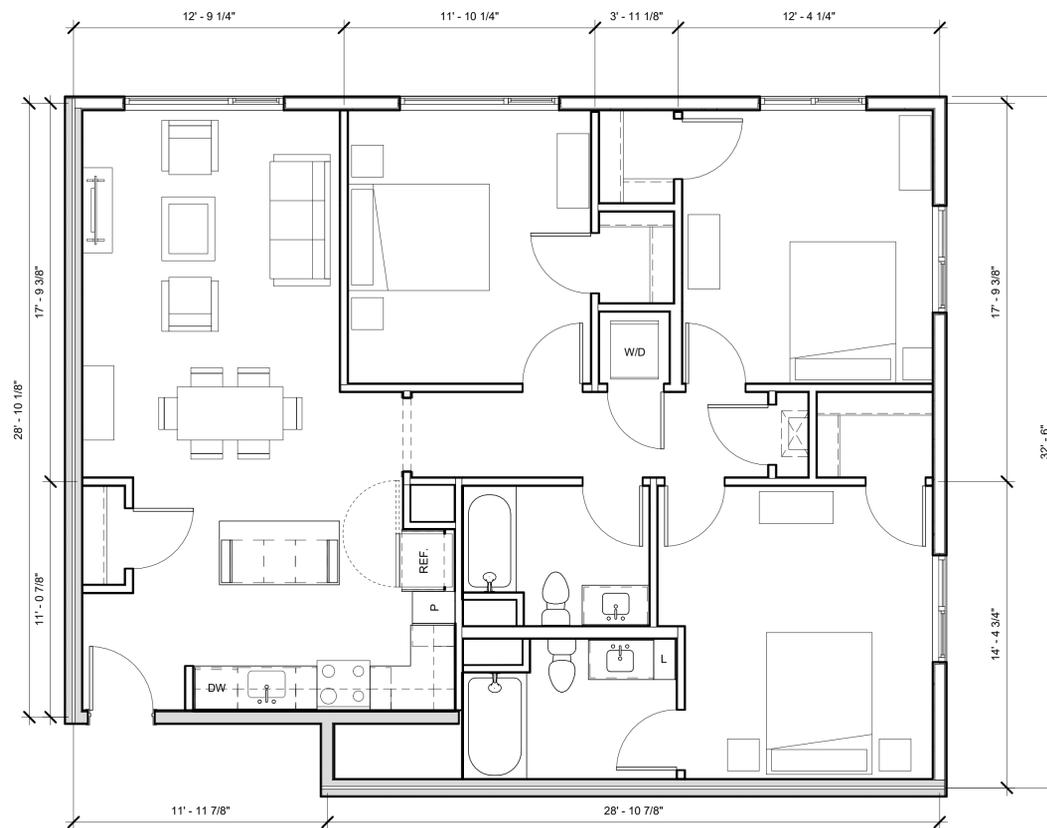
SHEET TITLE

ENLARGED UNIT PLANS

A-502



2 2BR
1/4" = 1'-0"



3 3BR
1/4" = 1'-0"

THE RESIDENCES ON THE CHARLES

15 RIVERDALE AVENUE
NEWTON, MA

CPC LAND ACQUISITION
COMPANY, LLC

ARCHITECT

ICON
ARCHITECTURE

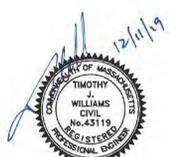
101 SUMMER ST BOSTON MA 02110

CONSULTANT



ALLEN & MAJOR ASSOCIATES, INC.
100 STATE STREET, SUITE 200
BOSTON, MASSACHUSETTS 02109
TEL: 617-552-1100
WWW.ALLENMAJOR.COM

STAMP



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

KEY PLAN

MARK	DATE	COMP. PERMIT	DESCRIPTION
1	12-11-2019		

PROJECT NUMBER: 1374-23
DRAWN BY: AM/ND
CHECKED BY: TJW

SHEET TITLE

LAYOUT PLAN
BUILDING 1

C-102A



LEGEND	
PROPERTY LINE	---
SIGN	+
BOLLARD	•
BUILDING	[Hatched Box]
BUILDING ARCHITECTURE	[Line with Hatching]
CURB	—+—
PARKING STRIPING	[Hatched Box]
ROADWAY STRIPING	[Hatched Box]
TRAFFIC ARROW	→
STAMPED CONCRETE	[Hatched Box]
SIDEWALK	[Hatched Box]
ADA ACCESSIBLE RAMP	[Hatched Box]
ADA DET. WARNING SURFACE	[Hatched Box]
PERMEABLE PAVERS	[Hatched Box]
PAVEMENT RECONSTRUCTION	[Hatched Box]
SAW-CUT LINE	—+—
SETBACK LINE	---
PARKING COUNT	⊕
TRANSFORMER	⊕
STREET LIGHT	⊕
POLE LIGHT	⊕
BOLLARD LIGHT	⊕
100-YEAR FLOODPLAIN LINE	---F---
25' NATURAL VEGETATED BUFFER	---NVB---
100' WETLAND BUFFER	---WB---
100' RIVERFRONT BUFFER	---RFB---
200' RIVERFRONT BUFFER	---RFB---

CITY OF NEWTON ZONING SUMMARY & DIMENSIONAL REQUIREMENTS

ZONING DISTRICT: MANUFACTURING (M)

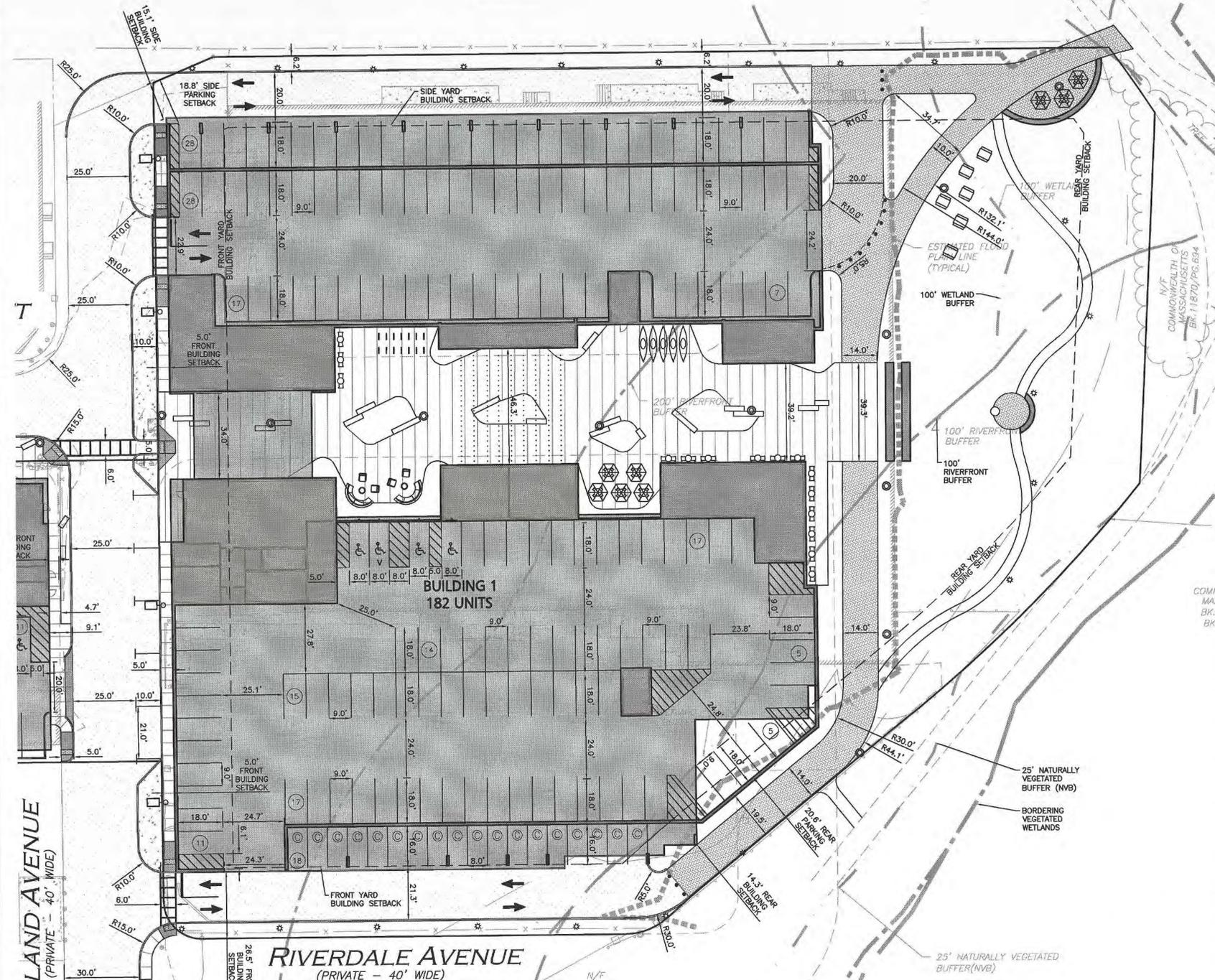
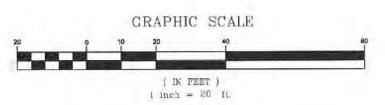
ITEM	REQUIRED/ALLOWED	EXISTING	PROPOSED
LOT AREA (MIN)	0.23 ACRES (10,000 S.F.)	3.41 ACRES (148,563± S.F.)	3.41 ACRES (148,563± S.F.)
LOT FRONTAGE (MIN)	---	225.0' (LA ST)	225.0' (LA ST)
LOT COVERAGE (MAX, BUILDING) (1) (6)	---	0.37	0.53
FRONT YARD BUILDING SETBACK (MIN)	GREATER OF 15' OR 1/2 BLDG HEIGHT (1/2 BH = 28.09)	109.7' (BUILDING 1 RIVERDALE) 29.8' (BUILDING 1 MIDLAND) 91.3' (BUILDING 2 LA STREET) 0.4' (BUILDING 2 MIDLAND)	26.5' (BUILDING 1 RIVERDALE) 5' (BUILDING 1 MIDLAND) 6.9' (BUILDING 2 LA STREET) 4.1' (BUILDING 2 MIDLAND)
SIDE YARD BUILDING SETBACK (MIN)	GREATER OF 1/2 BLDG HEIGHT OR 20' ABUTTING RESIDENTIAL OR PUBLIC DISTRICT (1/2 BH = 28.09)	19.5' (BUILDING 1) 6.9' (BUILDING 2)	15.1' (BUILDING 1) 5.0' (BUILDING 2)
SIDE YARD PARKING SETBACK (MIN)	5.0'	230.2' (BUILDING 1) 1.0' (BUILDING 2)	18.8' (BUILDING 1) 2.0' (BUILDING 2)
REAR YARD BUILDING SETBACK (MIN)	GREATER OF 1/2 BLDG HEIGHT OR 20' ABUTTING RESIDENTIAL OR PUBLIC DISTRICT (1/2 BH = 28.09)	19.3' (BUILDING 1) 132.5' (BUILDING 2)	14.3' (BUILDING 1) 12.6' (BUILDING 2)
REAR YARD PARKING SETBACK (MIN)	5.0'	1.0' (BUILDING 1) 3.6' (BUILDING 2)	20.6' (BUILDING 1) 7.2' (BUILDING 2)
BUILDING HEIGHT (MAX, FEET)	36'	21.5'	56.2'
BUILDING HEIGHT (MAX, STORIES)	3 STORIES	2 STORIES	5 STORIES
FLOOR AREA RATIO (MAX) (2) (6)	1.50	0.37	2.18
BENEFICIAL OPEN SPACE (3) (6)	---	15.4%	30.6%
LOT AREA PER UNIT (4) (6)	---	---	704 S.F./UNIT
UNITS PER ACRE (4) (6)	---	---	61.84 UNITS/ACRE
UNITS PER BUILDABLE ACRE (4) (6) (6)	---	---	61.95 UNITS/ACRE

- NOTES:
- (1) CHAPTER 30: NEWTON ZONING ORDINANCE, SEC. 1.5 RULES OF MEASUREMENT, 1.5.2 LOT, D. LOT COVERAGE. THE PERCENTAGE OF THE LOT AREA WHICH IS COVERED BY BUILDINGS, INCLUDING ACCESSORY BUILDINGS.
 - (2) CHAPTER 30: NEWTON ZONING ORDINANCE, SEC. 1.5 RULES OF MEASUREMENT, 1.5.5 FLOOR AREA, A. FLOOR AREA RATIO. THE GROSS FLOOR AREA OF ALL BUILDINGS ON THE LOT DIVIDED BY THE TOTAL LOT AREA.
 - (3) CHAPTER 30: NEWTON ZONING ORDINANCE, SEC. 8.3 DEFINED TERMS, OPEN SPACE, BENEFICIAL: AREAS NOT COVERED BY BUILDINGS OR STRUCTURES THAT ARE NOT AVAILABLE FOR ACTIVE OR PASSIVE RECREATION.
 - (4) THIS IS NOT A DIMENSIONAL STANDARD REQUIREMENT LISTED WITHIN THE ZONING ORDINANCE FOR MANUFACTURING DISTRICTS. (CHAPTER 30: ZONING ORDINANCE, 4.3.3 ALL BUILDING TYPES IN MANUFACTURING DISTRICTS), THIS HAS BEEN INCLUDED WITHIN THE SUMMARY TABLE PER REQUEST OF THE CITY OF NEWTON.
 - (5) THIS DEFINITION WAS NOT LOCATED WITHIN THE NEWTON ZONING ORDINANCE. IT HAS BEEN ASSUMED THE THE BUILDABLE LOT AREA IS THE AREA OF THIS LOT NOT INCLUDING THE 25 FT NATURALLY VEGETATED BUFFER (NVB) AREA.
 - (6) THIS HAS BEEN CALCULATED UTILIZING A LOT AREA EXCLUDING THE 40 FT WIDE SECTION OF MIDLAND AVE. THE LOT AREA USED IN THE CALCULATIONS = 143,715 SF.
- * RELIEF WILL BE REQUIRED FROM NEWTON ZONING ORDINANCE.

PARKING SUMMARY TABLE

STANDARD (9'x18')	COMPACT (8'x18')	ACCESSIBLE SPACES	TOTAL PROVIDED
202	18	7	227

NOTE:
THE (5) PARALLEL STREET PARKING SPACES HAVE NOT BEEN INCLUDED WITHIN THIS SUMMARY TABLE.



- NOTES:
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 - THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE CITY OF NEWTON DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
DIGSAFE: 1-800-344-7233
NEWTON DEPT. OF PUBLIC WORKS: (617) 796-1000
 - ALL CURBING RADII SHALL BE 3' UNLESS OTHERWISE NOTED.
 - ALL ADA CURB CUT RAMPS ARE TO BE CONCRETE.
 - VERTICAL DATUM IS CITY OF NEWTON BASE.
 - DRIVE AISLE WIDTH AND PARKING STALL SIZE RELIEF WILL BE REQUIRED FROM THE NEWTON ZONING ORDINANCE.
 - WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



ALL PROJECTS 1374-23 101 SUMMER ST BOSTON MA 02110
 ALL PROJECTS 1374-23 101 SUMMER ST BOSTON MA 02110
 ALL PROJECTS 1374-23 101 SUMMER ST BOSTON MA 02110

THE RESIDENCES ON THE CHARLES

15 RIVERDALE AVENUE
NEWTON, MA

CPC LAND ACQUISITION
COMPANY, LLC

ARCHITECT

E-ICON
ARCHITECTURE

101 SUMMER ST BOSTON MA 02110

CONSULTANT



ALLEN & MAJOR
ASSOCIATES, INC.
Professional Engineering Firm
100 STATE STREET
NEWTON, MA 02459
TEL: 781.552.1100
WWW.AMENGINEERING.COM

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STAMP



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

KEY PLAN

MARK	DATE	DESCRIPTION
1	12-11-2019	COMP. PERMIT

PROJECT NUMBER: 1374-23
DRAWN BY: AM/ND
CHECKED BY: TJW

SHEET TITLE

LAYOUT PLAN
BUILDING 2

C-102B



LEGEND	
PROPERTY LINE	---
SIGN	+
BOLLARD	•
BUILDING	[Hatched Box]
BUILDING ARCHITECTURE	[Line with Dash]
CURB	— —
PARKING STRIPING	[Hatched Box]
ROADWAY STRIPING	[Hatched Box]
TRAFFIC ARROW	←
STAMPED CONCRETE	[Hatched Box]
SIDEWALK	[Hatched Box]
ADA ACCESSIBLE RAMP	[Hatched Box]
ADA DET. WARNING SURFACE	[Hatched Box]
PERMEABLE PAVERS	[Hatched Box]
PAVEMENT RECONSTRUCTION	[Hatched Box]
SAW-CUT LINE	— —
SETBACK LINE	---
PARKING COUNT	Ⓢ
TRANSFORMER	Ⓣ
STREET LIGHT	Ⓛ
POLE LIGHT	Ⓟ
BOLLARD LIGHT	Ⓛ
100-YEAR FLOODPLAIN LINE	--- ---
25' NATURAL VEGETATED BUFFER	--- ---
100' WETLAND BUFFER	--- ---
100' RIVERFRONT BUFFER	--- ---
200' RIVERFRONT BUFFER	--- ---

NOTES:

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CITY OF NEWTON ZONING SUMMARY & DIMENSIONAL REQUIREMENTS

ITEM	REQUIRED/ALLOWED	EXISTING	PROPOSED
LOT AREA (MIN)	0.23 ACRES (10,000 S.F.)	3.41 ACRES (148,563± S.F.)	3.41 ACRES (148,563± S.F.)
LOT FRONTAGE (MIN)	---	225.0' (LA ST)	225.0' (LA ST)
LOT COVERAGE (MAX, BUILDING) (1) (6)	---	0.37	0.53
FRONT YARD BUILDING SETBACK (MIN)	GREATER OF 15' OR 1/2 BLDG HEIGHT (1/2 BH = 28.09)	109.7' (BUILDING 1 RIVERDALE) 29.8' (BUILDING 1 MIDLAND) 91.3' (BUILDING 2 LA STREET) 0.4' (BUILDING 2 MIDLAND)	26.5' (BUILDING 1 RIVERDALE) 5' (BUILDING 1 MIDLAND) 6.9' (BUILDING 2 LA STREET) 4.1' (BUILDING 2 MIDLAND)
SIDE YARD BUILDING SETBACK (MIN)	GREATER OF 1/2 BLDG HEIGHT OR 20' ABUTTING RESIDENTIAL OR PUBLIC DISTRICT (1/2 BH = 28.09)	19.5' (BUILDING 1) 6.9' (BUILDING 2)	15.1' (BUILDING 1) 5.0' (BUILDING 2)
SIDE YARD PARKING SETBACK (MIN)	5.0'	230±' (BUILDING 1) 1.0' (BUILDING 2)	18.8' (BUILDING 1) 2.0' (BUILDING 2)
REAR YARD BUILDING SETBACK (MIN)	GREATER OF 1/2 BLDG HEIGHT OR 20' ABUTTING RESIDENTIAL OR PUBLIC DISTRICT (1/2 BH = 28.09)	19.3' (BUILDING 1) 132.5' (BUILDING 2)	14.3' (BUILDING 1) 12.6' (BUILDING 2)
REAR YARD PARKING SETBACK (MIN)	5.0'	1.0' (BUILDING 1) 3.6' (BUILDING 2)	20.6' (BUILDING 1) 7.2' (BUILDING 2)
BUILDING HEIGHT (MAX, FEET)	36'	21.5'	56.2'
BUILDING HEIGHT (MAX, STORIES)	3 STORIES	2 STORIES	5 STORIES
FLOOR AREA RATIO (MAX) (2) (6)	1.50	0.37	2.18
BENEFICIAL OPEN SPACE (3) (6)	---	15.4%	30.6%
LOT AREA PER UNIT (4) (6)	---	---	704 S.F./UNIT
UNITS PER ACRE (4) (6)	---	---	61.84 UNITS/ACRE
UNITS PER BUILDABLE ACRE (4) (6) (6)	---	---	61.85 UNITS/ACRE

NOTES:

- CHAPTER 30: NEWTON ZONING ORDINANCE, SEC. 1.5 RULES OF MEASUREMENT, 1.5.2 LOT, D. LOT COVERAGE. THE PERCENTAGE OF THE LOT AREA WHICH IS COVERED BY BUILDINGS, INCLUDING ACCESSORY BUILDINGS.
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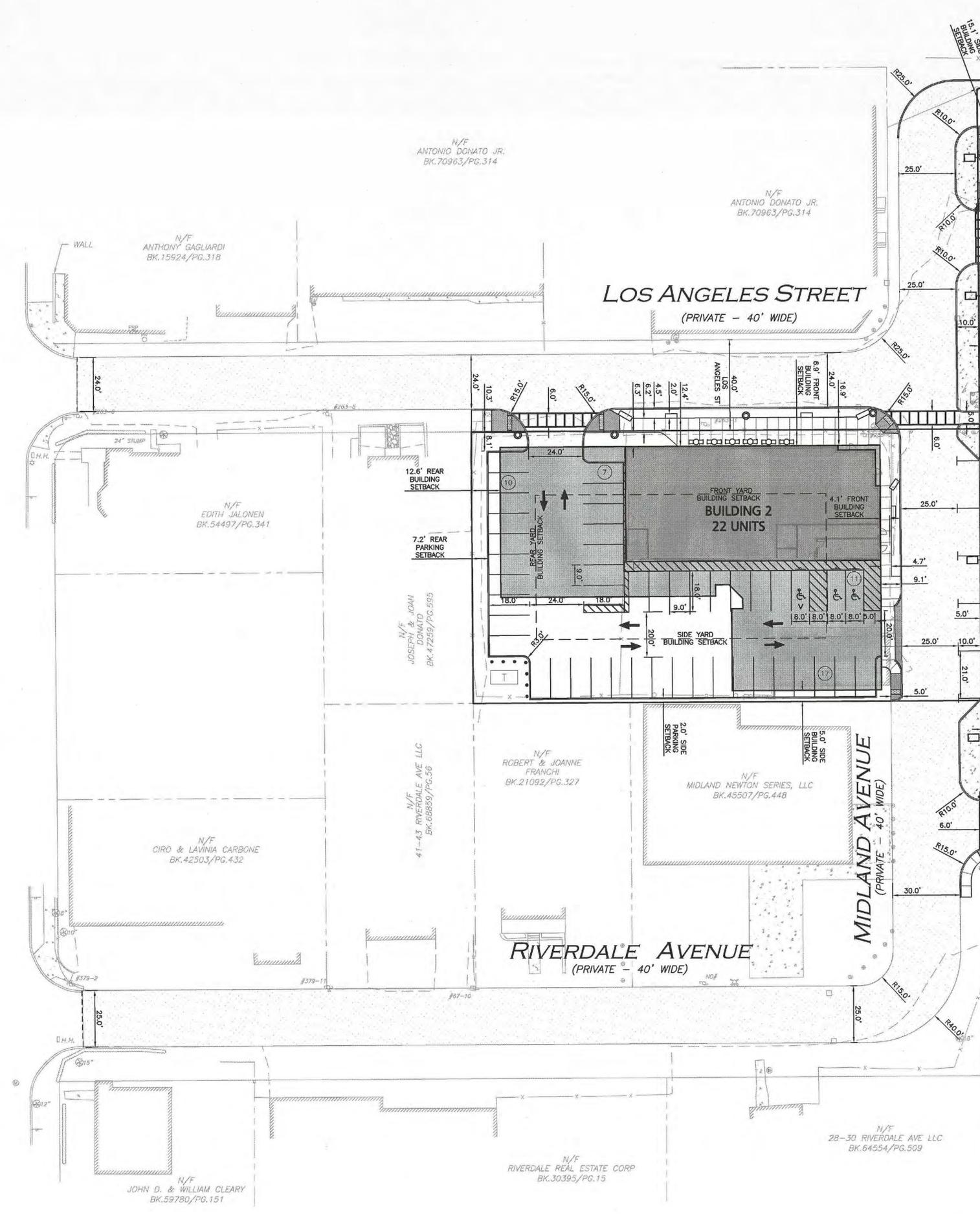
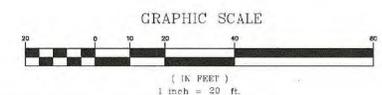
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PARKING SUMMARY TABLE

STANDARD (9'x18')	COMPACT (8'x16')	ACCESSIBLE SPACES	TOTAL PROVIDED
202	18	7	227

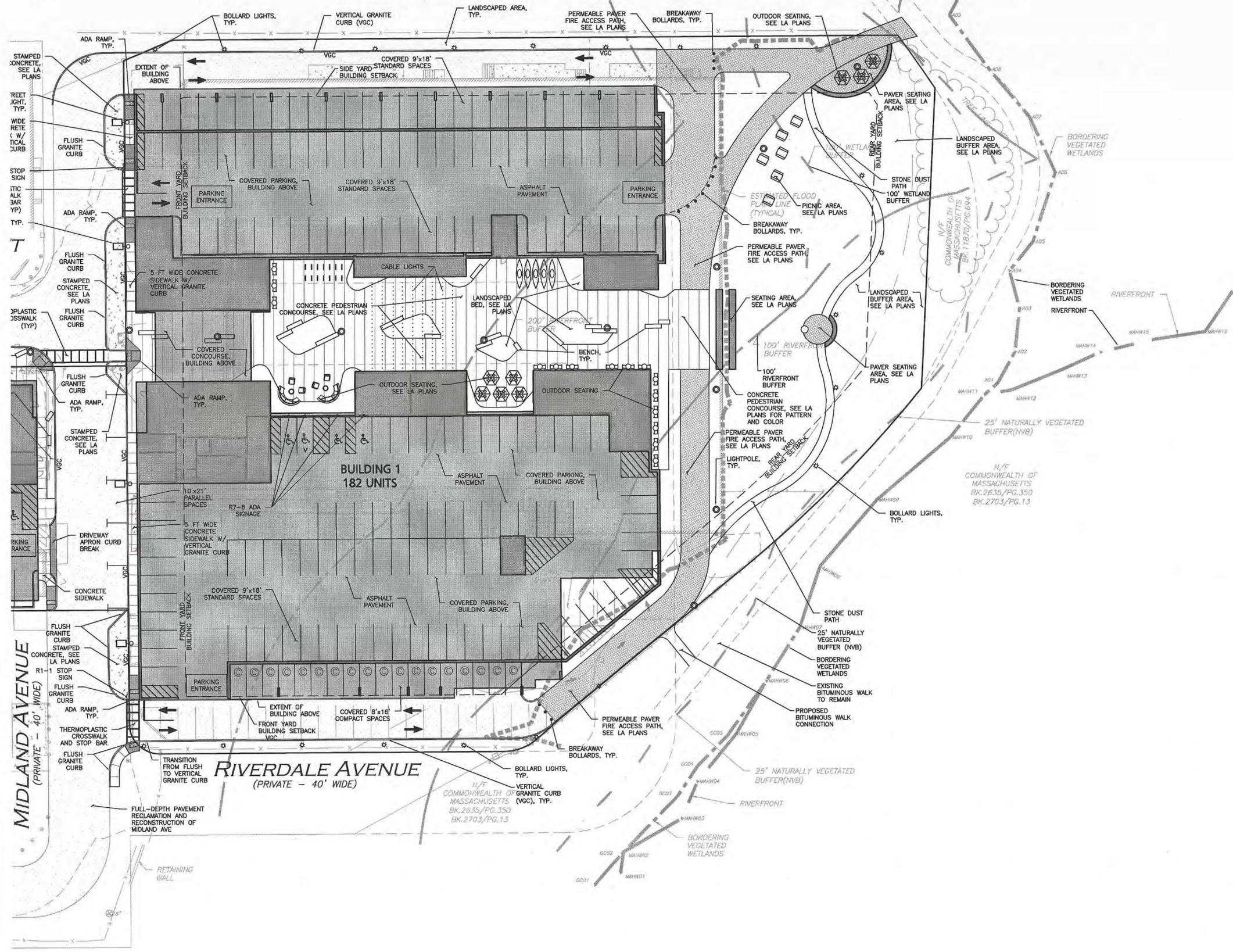
NOTE:

THE (5) PARALLEL STREET PARKING SPACES HAVE NOT BEEN INCLUDED WITHIN THIS SUMMARY TABLE.



PROJECT: 1374-23 (C) 2019 ALLEN & MAJOR ASSOCIATES, INC. 12/11/19

N/F
CITY OF NEWTON
BK.6018/PG.379



LEGEND

PROPERTY LINE	---
SIGN	+
BOLLARD	•
BUILDING	[Hatched Area]
BUILDING ARCHITECTURE	[Line Style]
CURB	[Line Style]
PARKING STRIPING	[Line Style]
ROADWAY STRIPING	[Line Style]
TRAFFIC ARROW	[Arrow]
STAMPED CONCRETE	[Line Style]
SIDEWALK	[Line Style]
ADA ACCESSIBLE RAMP	[Line Style]
ADA DET. WARNING SURFACE	[Line Style]
PERMEABLE PAVERS	[Line Style]
PAVEMENT RECONSTRUCTION	[Line Style]
SAW-CUT LINE	[Line Style]
SETBACK LINE	[Line Style]
PARKING COUNT	Ⓞ
TRANSFORMER	Ⓧ
STREET LIGHT	⊙
POLE LIGHT	⊙
BOLLARD LIGHT	⊙
100-YEAR FLOODPLAIN LINE	---
25' NATURAL VEGETATED BUFFER	---
100' WETLAND BUFFER	---
100' RIVERFRONT BUFFER	---
200' RIVERFRONT BUFFER	---

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THE RESIDENCES ON THE CHARLES

15 RIVERDALE AVENUE
NEWTON, MA

CPC LAND ACQUISITION
COMPANY, LLC

ARCHITECT
E-ICON
ARCHITECTURE
101 SUMMER ST BOSTON MA 02110

CONSULTANT
ALLEN & MAJOR ASSOCIATES, INC.
100 STATE STREET, SUITE 200
NEWTON, MASSACHUSETTS 02459
TEL: 781-552-1100
WWW.ALLENMAJOR.COM

STAMP

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

KEY PLAN

1	12-11-2019	COMP. PERMIT
MARK	DATE	DESCRIPTION

PROJECT NUMBER: 1374-23
DRAWN BY: AM/ND
CHECKED BY: TJW

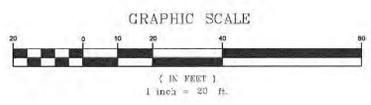
SHEET TITLE

**MATERIALS PLAN
BUILDING 1**

C-103A

DIG SAFE

BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233



THE RESIDENCES ON THE CHARLES

15 RIVERDALE AVENUE
NEWTON, MA

CPC LAND ACQUISITION
COMPANY, LLC

ARCHITECT

ICON
ARCHITECTURE

101 SUMMER ST BOSTON MA 02110

CONSULTANT



ALLEN & MAJOR
ASSOCIATES, INC.

100 STATE STREET, SUITE 200
NEWTON, MASSACHUSETTS 02459
TEL: 781-552-1100
WWW.ALLENMAJOR.COM

REGISTERED PROFESSIONAL ENGINEER
STATE OF MASSACHUSETTS
EXPIRES 12/31/2018

STAMP



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

KEY PLAN

MARK	DATE	DESCRIPTION
1	12-11-2019	COMP. PERMIT

PROJECT NUMBER: 1374-23
DRAWN BY: AM/ND
CHECKED BY: TJW

SHEET TITLE

MATERIALS PLAN
BUILDING 2

C-103B



LEGEND	
PROPERTY LINE	---
SIGN	+
BOLLARD	•
BUILDING	[Hatched Area]
BUILDING ARCHITECTURE	[Hatched Area]
CURB	—
PARKING STRIPING	[Diagonal Lines]
ROADWAY STRIPING	[Diagonal Lines]
TRAFFIC ARROW	→
STAMPED CONCRETE	[Stippled Area]
SIDEWALK	[Stippled Area]
ADA ACCESSIBLE RAMP	[Stippled Area]
ADA DET. WARNING SURFACE	[Stippled Area]
PERMEABLE PAVERS	[Stippled Area]
PAVEMENT RECONSTRUCTION	[Stippled Area]
SAW-CUT LINE	—
SETBACK LINE	---
PARKING COUNT	Ⓢ
TRANSFORMER	Ⓢ
STREET LIGHT	Ⓢ
POLLE LIGHT	Ⓢ
BOLLARD LIGHT	Ⓢ
100-YEAR FLOODPLAIN LINE	---
25' NATURAL VEGETATED BUFFER	---
100' WETLAND BUFFER	---
100' RIVERFRONT BUFFER	---
200' RIVERFRONT BUFFER	---

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CALIFORNIA STREET
(PUBLIC)

LOS ANGELES STREET
(PRIVATE - 40' WIDE)

RIVERDALE AVENUE
(PRIVATE - 40' WIDE)

MIDLAND AVENUE
(PRIVATE - 40' WIDE)

RIVERDALE
(PRIVATE - 40')

N/F ANTONIO DONATO JR.
BK.70963/PG.314

N/F ANTONIO DONATO JR.
BK.70963/PG.314

N/F ANTHONY GAGLIARDI
BK.15924/PG.318

N/F EDITH JALONEN
BK.54497/PG.341

N/F JOSEPH & JOAH DONATO
BK.47259/PG.595

N/F ROBERT & JOANNE FRANCHI
BK.21092/PG.327

N/F MIDLAND NEWTON SERIES, LLC
BK.45507/PG.448

N/F CIRO & LAVINIA CARBONE
BK.42503/PG.432

N/F 41-43 RIVERDALE AVE LLC
BK.66659/PG.56

N/F 28-30 RIVERDALE AVE LLC
BK.64554/PG.509

N/F RIVERDALE REAL ESTATE CORP
BK.30395/PG.15

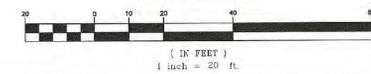
N/F JOHN D. & WILLIAM CLEARY
BK.59780/PG.151

DIG SAFE



BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

GRAPHIC SCALE



N:\PROJECTS\1374-23\CON\DRAWINGS\CAD\DWG\1374-23_MATERIALS.DWG

NEWTON

15 RIVERDALE AVENUE
NEWTON, MA

CRITERION DEVELOPMENT
PARTNERS

ARCHITECT

E-ICON
ARCHITECTURE

101 SUMMER ST BOSTON MA 02110

CONSULTANT

C W Copley Wolff Design Group
D G Landscape Architects & Planners

STAMP

KEY PLAN

1	08/02/2019	40B SUBMISSION
MARK	DATE	DESCRIPTION

PROJECT NUMBER: 218007

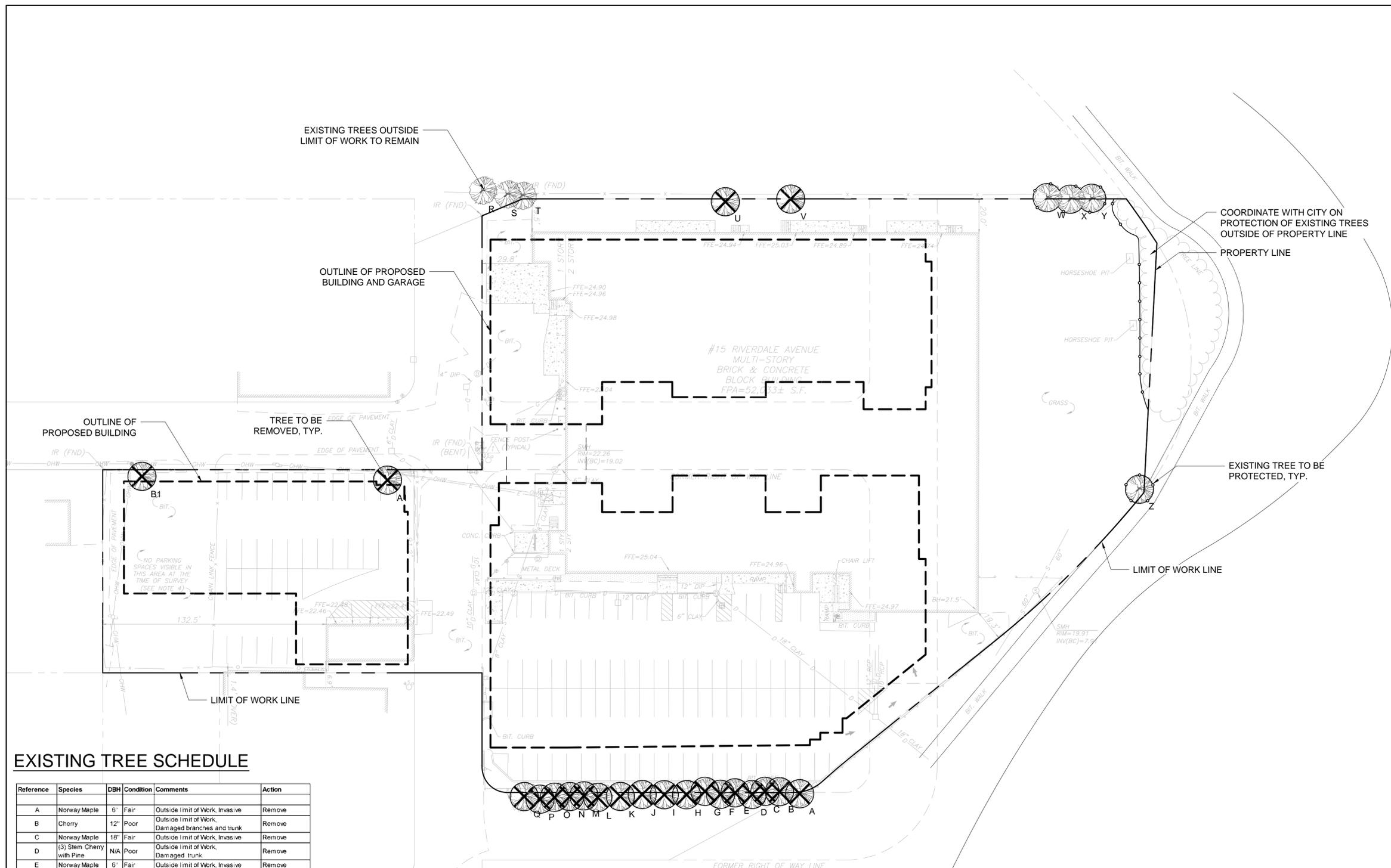
DRAWN BY: IR

CHECKED BY: IR

SHEET TITLE

TREE PROTECTION/
REMOVAL PLAN

L-000



EXISTING TREE SCHEDULE

Reference	Species	DBH	Condition	Comments	Action
A	Norway Maple	6"	Fair	Outside limit of Work, Invasive	Remove
B	Cherry	12"	Poor	Outside limit of Work, Damaged branches and trunk	Remove
C	Norway Maple	18"	Fair	Outside limit of Work, Invasive	Remove
D	(3) Stem Cherry with Pine	N/A	Poor	Outside limit of Work, Damaged trunk	Remove
E	Norway Maple	5"	Fair	Outside limit of Work, Invasive	Remove
F	Norway Maple	8"	Poor	Outside limit of Work, Partially grown into fence	Remove
G	Alanthus	12"	Poor	Outside limit of Work, Partially grown into fence, Invasive	Remove
H	Alanthus	10"	Poor	Outside limit of Work, Disfigured and damaged branches, Invasive	Remove
I	Norway Maple	8"	Poor	Outside limit of Work, Disfigured and damaged branches	Remove
J	(3) Stem Cherry	N/A	Poor	Outside limit of Work, Damaged Trunk	Remove
K	Norway Maple	5"	Fair	Outside limit of Work, Invasive	Remove
L	(2) Stem Norway Maple	N/A	Fair	Outside limit of Work, Invasive	Remove
M	Norway maple	5"	Fair	Outside limit of Work, Invasive	Remove
N	Cherry	5"	Poor	Outside limit of Work, Invasive	Remove
O	Norway Maple	8"	Fair	Outside limit of Work, Invasive	Remove
P	Multi-Stem Alanthus	N/A	Poor	Outside limit of Work, Invasive	Remove
Q	Alanthus and Norway Maple	N/A	Poor	Outside limit of Work, Partially grown into fence	Remove
R	White Pine	12"	Good	Outside limit of Work	Protect
S	Norway Maple	18"	Poor	Partially grown into fence, Off Site	Protect
T	Norway Maple	30"	Poor	Partially grown into fence, Off Site	Protect
U	Multi-stem Elm	N/A	Poor	Damaged trunk	Remove
V	Norway Maple	15"	Poor	Partially grown into fence, Off Site	Remove
W	(4) Stem Cherry	12"	Fair	Some Deadwood	Protect & Prune
X	Cherry	10"	Fair	Some Deadwood	Protect & Prune
Y	Cherry	8"	Fair	Some Deadwood	Protect & Prune
Z	Sycamore	12"	Good		Protect
A1	Alanthus	8"	Fair	Invasive	Remove
B1	Alanthus	10"	Poor	Grown into power lines, Invasive	Remove

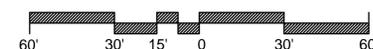
TREE PROTECTION NOTES

- THIS SHEET DESCRIBES EXISTING TREE PRESERVATION AND REMOVAL WORK ONLY. REFER TO CIVIL ENGINEER'S DRAWINGS FOR COMPLETE SITE PREP AND DEMO REQUIREMENTS.
- TREE PROTECTION FENCING SHALL BE INSTALLED AS SHOWN ON THIS PLAN AND REMAIN THROUGHOUT THE TIME OF CONSTRUCTION AS SPECIFIED AND DIRECTED BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL TAG ALL TREES TO BE REMOVED AND VERIFY WITH OWNER'S REPRESENTATIVE PRIOR TO THE START OF DEMOLITION.
- FOR ALL SITE PREP AND DEMO WORK OUTSIDE TREE PROTECTION AREA, SEE CIVIL ENGINEER'S DRAWINGS. NO STORAGE OF ANY TYPE OF MATERIAL, CHEMICAL OR EQUIPMENT SHALL BE ALLOWED IN THE PROTECTED FENCED IN AREA
- BEFORE THE START OF ANY WORK ON THE SITE, PRECEDING THE ARRIVAL OF EQUIPMENT, MATERIALS OR VEHICLES TO THE SITE, AND PRIOR TO THE COMMENCEMENT OF ANY CLEARING ON THE SITE, THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION CONFERENCE ON THE SITE WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT TO IDENTIFY TREES AND SHRUBS THAT ARE TO BE PROTECTED OR REMOVED. DO NO CLEARING WITHOUT A CLEAR UNDERSTANDING OF EXISTING CONDITIONS TO BE PRESERVED. REFER TO SPECIFICATION SECTION 01 56 39 FOR MORE INFORMATION.
- PERFORM SELECTIVE THINNING AND REMOVAL OF EXISTING TREES AS IDENTIFIED IN FIELD BY LANDSCAPE ARCHITECT AND / OR CERTIFIED ARBORIST.
- PROVIDE PRUNING AND REMOVAL OF EXISTING UNDERSTORY VEGETATION AS IDENTIFIED IN FIELD BY LANDSCAPE ARCHITECT.
- REMOVE AND DISPOSE OF DEBRIS AS DIRECTED BY THE OWNER.
- PROVIDE ALLOWANCE FOR SOIL STABILIZATION WITH JUTE MAT AND SEEDING IN AREAS IDENTIFIED IN FIELD BY LANDSCAPE ARCHITECT.
- ALL EXCAVATION TO BE DONE BY HAND TO MINIMIZE DISTURBANCE TO ROOT ZONES.
- SURROUND ENTIRE TREE PROTECTION AREA WITH 6' HIGH CHAIN LINK CONSTRUCTION FENCE WITH 2 DOUBLE LEAF GATES WITH PAD LOCKS.

TREE PROTECTION LEGEND

-  EXISTING TREE
-  TREE TO BE REMOVED
-  TREE TO BE PROTECTED, TYP.

SCALE: 1"=30'



NEWTON

15 RIVERDALE AVENUE
NEWTON, MA

CRITERION DEVELOPMENT
PARTNERS

ARCHITECT

E-ICON ARCHITECTURE

101 SUMMER ST BOSTON MA 02110

CONSULTANT

C W Copley Wolff Design Group
D G Landscape Architects & Planners

STAMP

KEY PLAN

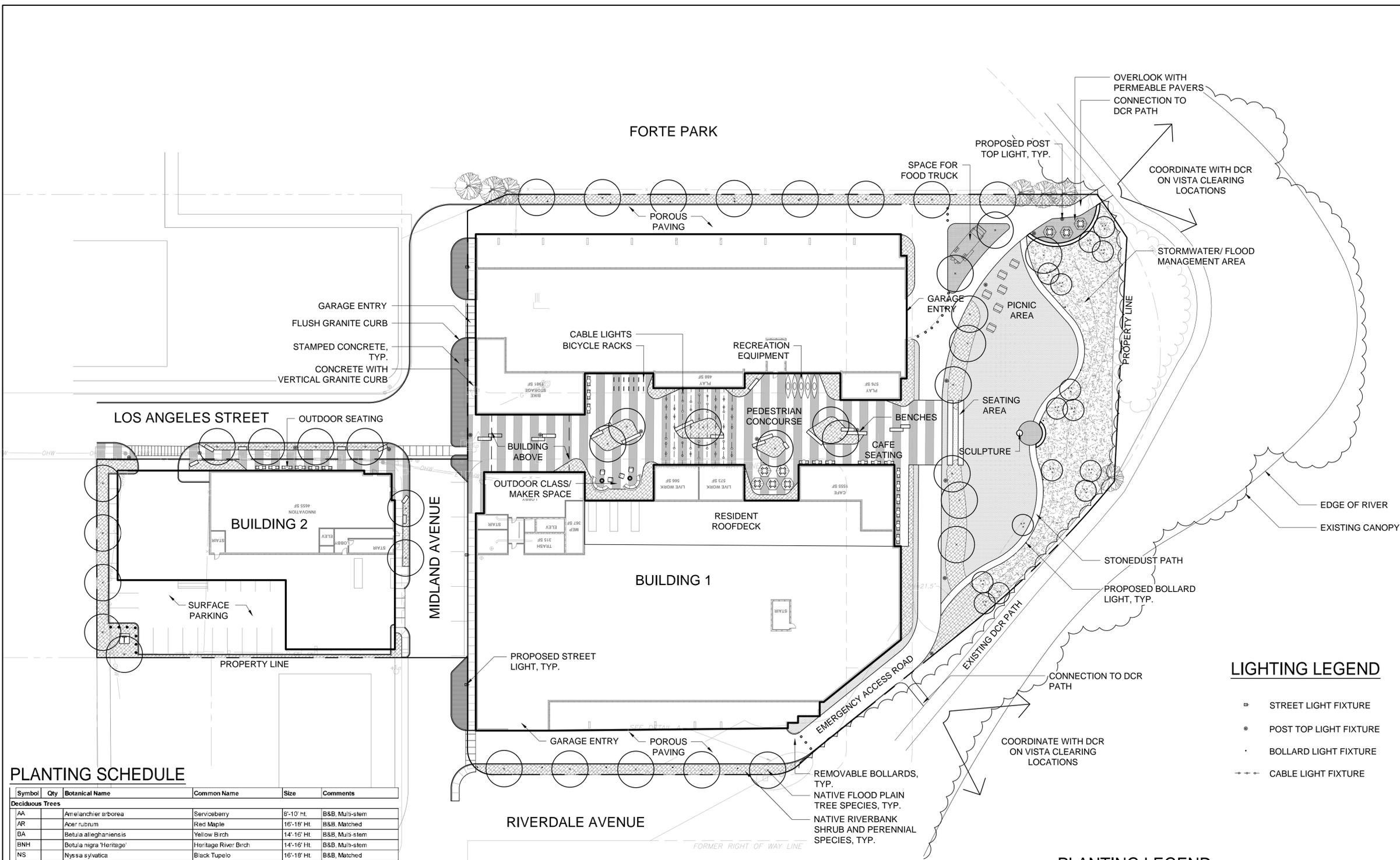
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LANDSCAPE PLAN

L-100

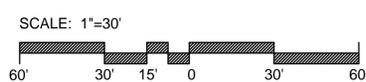


LIGHTING LEGEND

- ◻ STREET LIGHT FIXTURE
- POST TOP LIGHT FIXTURE
- BOLLARD LIGHT FIXTURE
- CABLE LIGHT FIXTURE

PLANTING LEGEND

- PROPOSED NATIVE SHADE TREE
- PROPOSED NATIVE ORNAMENTAL TREE
- ☼ EXISTING TREE TO REMAIN
- ▨ NATIVE SHRUB AND PERENNIAL PLANTING
- ▨ STORMWATER/ FLOOD MANAGEMENT PLANTING/ SEEDING
- ▨ LAWN



PLANTING SCHEDULE

Symbol	Qty	Botanical Name	Common Name	Size	Comments
Deciduous Trees					
AA		Amelanchier arborea	Serviceberry	8'-10' ht.	B&B, Multi-stem
AR		Acer rubrum	Red Maple	16'-18' Ht.	B&B, Matched
BA		Betula alleghaniensis	Yellow Birch	14'-16' Ht.	B&B, Multi-stem
BNH		Betula nigra 'Heritage'	Heritage River Birch	14'-16' Ht.	B&B, Multi-stem
NS		Nyssa sylvatica	Black Tupelo	16'-18' Ht.	B&B, Matched
OB		Quercus bicolor	Swamp White Oak	2"-2.5" cal.	B&B, Matched
OR		Quercus rubra	Red Oak	2"-2.5" cal.	B&B, Matched
RT		Rhus typhina	Staghorn Sumac	4'-6' Ht.	B&B, Multi-stem
SA		Sassafras albidum	Sassafras	8'-10' Ht.	B&B, Multi-stem
Evergreen Trees					
CT		Chamaecyparis thyoides	Atlantic White Cedar	8'-10' Ht.	B&B, Matched
IO		Ilex opaca	American Holly	8'-10' Ht.	B&B, Matched
JV		Juniperus virginiana	Eastern Red Cedar	10'-12' Ht.	B&B, Matched
Shrubs					
CA		Clethra alnifolia 'Sixteen Candles'	Summersweet	18"-24" ht.	#2 Cont.
CR		Cornus racemosa	Gray Dogwood	18"-24" ht.	#2 Cont.
DL		Diervilla lonicera	Northern Bush Honeysuckle	18"-24" ht.	#2 Cont.
HQ		Hydrangea quercifolia	Oakleaf Hydrangea	30"-36" ht.	#2 Cont.
JH		Juniperus horizontalis 'Wiltonii'	Croeping Juniper	12"-18" ht.	#2 Cont.
MP		Myrica pensylvanica	Bayberry	24"-30" ht.	#2 Cont.
RV		Rhododendron viscosum	Swamp Azalea	18"-24" ht.	#2 Cont.
RA		Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	12"-18" ht.	#2 Cont.
VD		Viburnum dentatum	Aronwood Viburnum	24"-30" ht.	#2 Cont.
Perennials					
ARJ		Actaea racemosa 'James Compton'	Snakeroot	18"-24" ht.	#2 Cont.
CT		Clematis racemosa	Sweet Autumn Clematis	1 gal.	#2 Cont.
DC		Deschampsia cespitosa	Tufted Hair Grass	12"-18" ht.	#2 Cont.
MP		Mattuccia struthioflera	Ostrich Fern	1 gal.	#2 Cont.
NR		Nepeta racemosa 'Walker's Low'	Walker's Low Catmint	18"-24" ht.	#2 Cont.
OC		Osmunda cinnamomea	Cinnamon Fern	18"-24" ht.	#2 Cont.
SN		Symphoricarpos novi-belgii 'Wood's Light Blue'	Light Blue New York Aster	1 gal.	#2 Cont.

PLANTING NOTES

- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE PLANT LIST, THE PLANTING PLAN SHALL GOVERN.
- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN ADDITION, ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY.
- ALL NEW PLANTS TO BE BALLED & BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
- THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL NEW PLANTS SHALL BE TAGGED AND APPROVED BY THE LANDSCAPE ARCHITECT AT THE NURSERY PRIOR TO DIGGING OR DELIVERY TO THE SITE.
- CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
- STAKE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING.
- NEW SHRUBS AND GROUND COVER SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS IT BORE TO PREVIOUS GRADE. TREES SHALL BE SET 3" HIGHER THAN PREVIOUS GRADE. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.
- ALL PLANT BEDS TO RECEIVE UN-DYED, AGED AND SHREDDED BARK MULCH AS PER SPECIFICATIONS.
- ALL EXISTING TREES TO REMAIN SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. PROTECTION TECHNIQUES SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.
- PRUNE TREES IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED BY CONTRACTOR UNTIL FINAL ACCEPTANCE AND GUARANTEED FOR 1 CALENDAR YEAR
- PROPOSED TREE AND SHRUB AREAS TO BE IRRIGATED. CONTRACTOR TO PROVIDE IRRIGATION PLAN FOR REVIEW BY LANDSCAPE ARCHITECT.

For section 14 please see sheets A-100-A-502 from full plan set in Tab 10.



Residences on the Charles

15 RIVERDALE AVENUE
NEWTON, MA

CPC Land Acquisition
Company, LLC

ARCHITECT



101 SUMMER ST BOSTON MA 02110

CONSULTANT

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KEY PLAN

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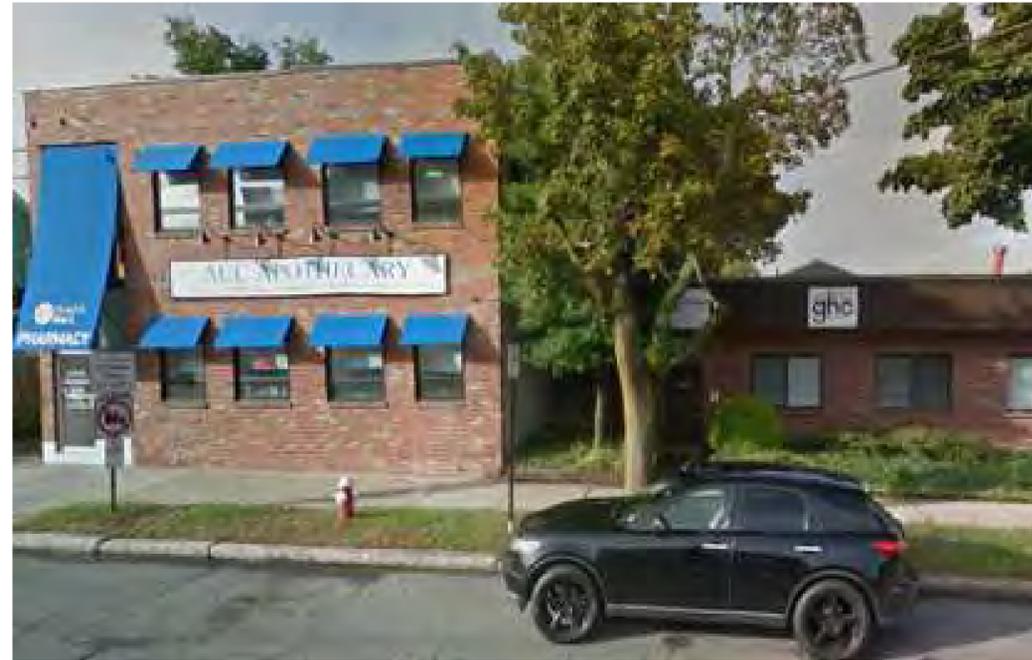
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CONTEXT

A-207



1 DONATO TOOLS AND HARDWARE



2 ACC APOTHECARY



3 PSMJ ARCHITECTURE, ENGINEERING, CONSTRUCTION



4 PHILIP A. RAND WIRE ROPE AND SLINGS COMPANY



LOCUS MAP

Residences on the Charles

15 RIVERDALE AVENUE
NEWTON, MA

CPC Land Acquisition
Company, LLC

ARCHITECT

ICON
ARCHITECTURE

101 SUMMER ST BOSTON MA 02110

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SHEET TITLE

CONTEXT -
MANUFACTURING

A-208



1 217 CALIFORNIA STREET



2 ACTION ATHLETICS TRAINING



2 ACTION ATHLETICS TRAINING



1 217 CALIFORNIA STREET



LOCUS MAP

Residences on the Charles

15 RIVERDALE AVENUE
NEWTON, MA

CPC Land Acquisition
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PROJECT NUMBER: 218007
DRAWN BY: Author
CHECKED BY: Checker

SHEET TITLE

CONTEXT - MILL BUILDINGS

A-209

MEMORANDUM

DATE: December 4, 2019

TO: Mr. Jack Englert
Criterion Development Partners
1601 Trapelo Road, Suite 280
Waltham, MA 02451

FROM: Robert J. Michaud, P.E. – Managing Principal
Daniel A. Dumais, P.E. – Senior Project Manager

RE: **Proposed Mixed-Use Development**
15 Riverdale Avenue – Newton, MA



EXECUTIVE SUMMARY

MDM Transportation Consultants, Inc. (MDM) has prepared an initial traffic impact assessment (TIA) for the proposed mixed-use re-development at 15 Riverdale Avenue in Newton, Massachusetts. As currently proposed, the Site uses will include 204 residential apartments in multiple buildings plus commercial space that includes a limited amount of ancillary retail programming. The initial traffic impact assessment describes existing (baseline) traffic conditions for adjacent roadways, outlines trip generation characteristics of the existing use/proposed development, quantifies incremental traffic impacts of the Site development on area roadways, outlines the shared parking programming, and evaluates safety-related conditions at key study locations that provide access to the Site.

Key findings of the traffic assessment are as follows:

- *Traffic Generation.* Projected trip generation for the Site is approximately 112 vehicle trips (44 entering and 68 exiting) during the weekday morning peak hour and 111 vehicle trips (59 entering and 52 exiting) during the weekday evening peak hour. Compared to the existing use of the Site the project will generate 89 additional trips during the weekday morning peak hour and 94 additional trips during the weekday evening peak hour. The projected trip activity is comparable to prior occupancy of the site; only modest additional trips are anticipated from the residential use of the property.
- *Below Average Crash Rates.* All study intersections exhibit crash rates that are well below state averages and no immediate safety countermeasures are warranted based on the

crash history at study intersections. None of the study intersections are listed by MassDOT as Highway Safety Improvement Project (HSIP) high crash locations.

- *Adequate Roadway Capacity & Operations.* Under future Build conditions, site trip increases will represent a small percentage change (approximately 2 percent) at primary area signalized intersections compared to No Build conditions. These trip increases fall within normal daily traffic fluctuations and do not present a material change in volume or operational impacts at study intersections. The principal access points (Los Angeles Street and Riverdale Avenue will continue to operate below capacity (LOS D or better) during peak travel periods. The Proponent notes that the signalized intersection of California Street at Bridge Street (the higher volume/primary area intersection west of the Site) currently experiences longer delays associated with vehicle queuing/backups on Bridge Street. While the project impacts are not expected to materially impact this location, ongoing initiatives for improved signal coordination between the communities of Newton and Watertown are expected to enhance operations and reduce delays associated with Bridge Street.
- *Adequate Shared Parking.* The parking activity at the Site is projected to range from 167 shared spaces during the workday period (8:00 am to 6:00 pm) and 209 parked vehicles during the overnight period (12:00 am to 4:00 am). The shared peak demand of 209 parked vehicles is a reduction in the non-shared demand by 20% and provides parking for the office component during the daytime period when the residential use is 30-50% lower than critical overnight period. The proposed parking supply of 227 spaces will provide adequate on-site parking to accommodate the mixed-used development (employees, customers, and residents). The Proponent should monitor the parking needs of the Site as tenant's are selected and change over time to ensure adequate parking through its management practices.

The following mitigation actions are being considered by the Proponent to enhance vehicular operations and to encourage non-motorized trip activity:

Pedestrian and Bicycle Accommodation

- *Pedestrian Connections.* The development has incorporated sidewalks that connect the proposed buildings to the existing Charles River Greenway and the adjoining municipal park. The Proponent will work collaboratively with the City of Newton and/or abutters, if feasible, to implement a sidewalk connection along Riverdale Avenue to California Street to supplement the proposed connections via the adjacent Forte Park and the Greenway.
- *Bicycle and Pedestrian Amenities.* The development will incorporate bicycle storage racks in the buildings for the residential units. Bicycle racks will also be located proximate to

commercial use within the project with specific locations to be identified in the final approved Site Plan.

Off-site Signal Improvements

Bridge Street/California Street (Newton) & Pleasant Street (Watertown). The Proponent understands that the City of Newton and Town of Watertown are engaged in discussions on possible signal improvements to optimize operations and that funding is available for these improvements via earmarked developer contributions from Watertown-based projects. The Proponent will engage in discussions with the City of Newton to determine a proportional funding contribution to facilitate near-term implementation of an optimized traffic signal plan for the Bridge Street intersections, subject to further review.

Transportation Demand Management (TDM)

TDM programs include a series of measures that are designed to encourage the use of alternative modes of travel to single-occupant vehicles (SOVs) through influencing the choice of travel modes by residents, commercial tenant employees, and patrons. The benefits that are derived from an effective TDM program include less congestion on the roadway network; improved air quality; reduced parking demands and the need for construction of new parking spaces; and health benefits through walking and bicycling. The Proponent is committed to reduce auto dependency by residents, commercial tenant employees and patrons by implementing a robust TDM program. A preliminary list of potential TDM program elements may include the following which are currently under consideration by the Proponent:

- *Watertown TMA Membership.* The Proponent will become a member of the recently formed Watertown TMA, consistent with recent membership by the City of Newton. The TMA membership offers a host of TDM programs and incentives available to the Proponent and residents and commercial employees of the development that include carpool/ride matching services; marketing/promotional events to inform members of available TMA programs and incentives; assistance with developing a pre-tax transit benefit program; up to 2-month free transit pass program; emergency ride home program (free uber/lyft for transit users); and route/trip matching programs for members who chose to walk/bike to work.

- *Shuttle Program.* The Watertown TMA is exploring the possibility of providing shuttle services in the area. The Proponent has been engaged in ongoing discussions with the Watertown TMA on possible expansion of the TMA-administered Watertown Shuttle service to include California Street in Newton. This planned shuttle would facilitate connecting residential and mixed-use properties along California Street and the Pleasant Street corridor in Watertown to Watertown Square, the Watertown Yard MBTA bus hub, commercial destinations along Arsenal Street, and possibly Harvard Square. Feasibility of this service and Proponent and City participation is currently under evaluation.
- *Bicycle Facilities and Promotion.* Provide bicycle parking, including weather protected racks for residents and visible accessible racks for commercial employees and patrons proximate to the building entrances, including accommodation for Bicycle Sharing Service (LimeBike) bicycle parking. Dissemination of area bicycle route maps as may be available will be postings in the building lobbies.
- *Bike Share Program.* The Proponent will develop and administer a robust bike share program under which bicycles will be available for sign-out by residents and commercial employees.
- *Preferential Parking for Carpools, Vanpools, and Car Sharing.* Preferential parking locations for commercial employees who use carpools and vanpools. The Proponent will also work with the City to consider designating parking spaces on-site for use by a car sharing services such as Zipcar.
- *Preferential Parking for Low-Emission Vehicles.* Preferential parking locations for residents, commercial employees, and patrons who use low-emission vehicles will be considered. Charging stations for electric vehicles will be provided.
- *Unbundled Parking.* The Proponent will unbundle residential parking to provide an option for residents to rent fewer or no parking spaces with their unit.
- *Transit Pass Subsidy.* The Proponent will provide a 100% fare subsidy for MBTA bus pass for the first two months of the lease term. This subsidy is augmented by the Proponent's membership in the Watertown TMA which entitles members an additional 2-month T pass subsidy, for a total of 4 full months of 100% subsidized MBTA T passes.

Conclusions

In summary, MDM finds that modest traffic increases associated with the proposed mixed-use development is not expected to materially impact operating conditions at the study intersections and that ample roadway capacity will be available to support the project. The Proponent will engage with the City in its ongoing efforts to improve traffic operations at the Bridge Street signalized intersection and will offer proportional funding assistance to advance these improvements, subject to further review. The Proponent is also developing a comprehensive Transportation Demand Management (TDM) program to take full advantage of the Site proximity to the Charles River multi-use path and area public transportation and proposes membership in the Watertown Transportation Management Association (TMA) to facilitate and encourage alternatives to automobile use. These TDM actions will establish a framework for minimizing Site traffic impacts by encouraging non-motorized travel modes and pedestrian/bicycle accommodation that is comparable with other area residential and mixed-use projects in Watertown that have demonstrated a measurable benefit in reducing parking needs and reliance on auto mode travel.